

PLEASE QUOTE

Your Ref:

Our Ref: SP:CF 3111830

Enquiries: Planning Department

80 Wilson Street, Burnie Tasmania
PO Box 973, Burnie TAS 7320

ABN: 29 846 979 690
Phone: (03) 6430 5700
Email: burnie@burnie.tas.gov.au
Web: www.burnie.tas.gov.au

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NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 57(3) Land Use Planning and Approvals Act 1993)

Advice to Adjoining Land Owner or Occupier

Application No: -	DA 2024/76
Development Site: -	2 Arlington Place HEYBRIDGE CT 160925/71
Proposal: -	Single Dwelling
Discretionary Matter: -	Reliant on performance criteria for grant of permit - BUR-S1.7.2 (P2)

Notice of the above application is served on you as an adjoining land owner or occupier.

The application may be viewed at -

**Burnie City Council Customer Services Counter
Ground Floor, City Offices,
80 Wilson Street, Burnie**

Between the hours of 8.30 am - 5.00 pm Monday to Friday inclusive (excluding public holidays) or on Council's website at www.burnie.tas.gov.au/permits

You are entitled to make representation in writing on any aspect of the proposal addressed to: -

**General Manager,
Burnie City Council,
PO Box 973, Burnie 7320**

or burnie@burnie.tas.gov.au by no later than 5.00 pm on **2 December 2024**. Council must have regard to any written representation received during the exhibition period when considering its decision on the application.

All persons who make representation will be notified within seven (7) days of the Council's decision. Any persons who made representation and is not satisfied with the Council decision may, under Section 61(5) of the *Land Use Planning and Approvals Act 1993*, lodge an appeal against that decision within fourteen (14) days of the date of that notice to: -

**The Tasmanian Civil and Administrative Tribunal,
GPO Box 1311,
HOBART TAS 7001.**

Should you have any enquiries regarding this development proposal, please do not hesitate to contact the Planning Department on (03) 6430 5700.

S Pearce

COMMUNITY PLANNING OFFICER

Date of Notice: - **16 November 2024**

BURNIE CITY COUNCIL
PO Box 973, BURNIE, TASMANIA 7320.
Ph : (03) 6430 5700
Email : burnie@burnie.net



Land Use Planning and Approvals Act 1993

Tasmanian Planning Scheme

PERMIT APPLICATION

Office use only

Application No _____

Date Received _____

Permit Pathway - *Permitted/Discretionary*

Use or Development Site:

Street Address

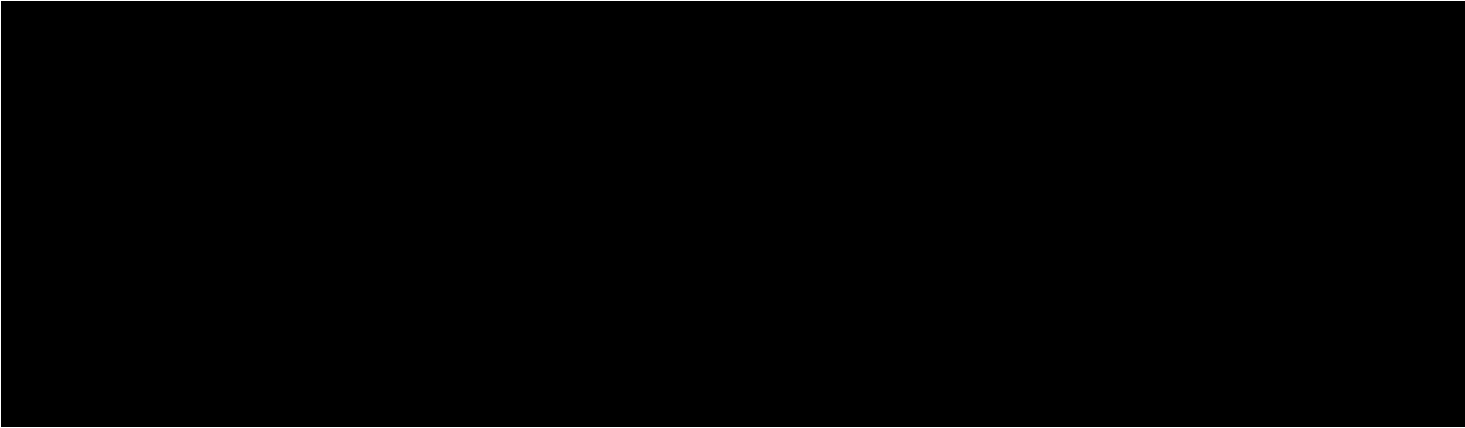
Certificate of
Title Reference

Applicant

First Name

Second
Name

Surname

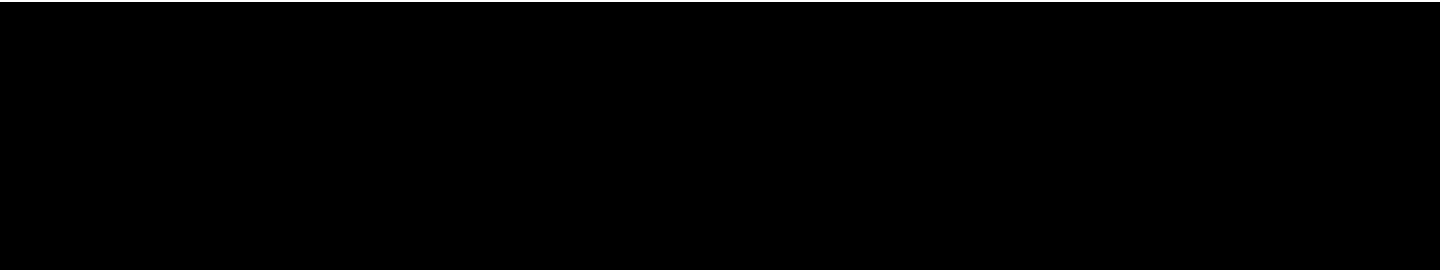


Owner (note – if more than one owner, all names must be indicated)

First
Name

Second
Name

Surname



Instruction for making a permit application

a) *Use or development?*

The application must provide a full description of the proposed use and/or development and of the manner in which the use and/or development is to operate.

“Use” is the purpose or manner for which land is utilised. “Development” is any site works (including any change in natural condition or topography of land and the clearing or conversion of vegetation), and the construction, alteration, or removal of buildings, structures and signs, required in order to prepare a site for use or to change existing conditions within a site. Subdivision is development.

Clause 6.2 Tasmanian Planning Scheme provides the use classes by which all use or development must be described. Development must be categorised by reference to the use class it is to serve.

b) *Required Information*

Adequate statements, plans and specifications must be included within the permit application to address and demonstrate compliance with all applicable requirements of the planning scheme, including any site analysis, impact report and recommendation, and advice, consent or determination required from a State agency or utility entity.

The application must clearly identify the documents relied upon for determination.

Section 51(1AC) *Land Use Planning and Approvals Act 1993* provides that a permit application is not valid unless it includes all of the information required by a planning scheme. Clause 6.1 Tasmanian Planning Scheme prescribes the minimum information that is necessary in order to complete a valid permit application.

Section 54 *Land Use Planning and Approvals Act 1993* provides that the planning authority may require the applicant to supply further information before it considers a permit application. If the planning authority requires further information to more particularly address one or more of the applicable requirements of the Tasmanian Planning Scheme, the statutory period for determination of a permit application does not run until that information is answered to the satisfaction of the planning authority

c) *Applicable Provisions and Standards*

The permit application must be assessed against the applicable provisions and standards of the Tasmanian Planning Scheme. The application is to identify by reference the clauses it relies upon to demonstrate compliance. (eg clause 8.4.3 (A1 – A4, and P5)

d) *Discretionary Permits*

If a permit is discretionary the permit application must be notified for a period of 14 days to allow opportunity for any interested person to consider the proposed use and/or development and to provide comment on the discretionary matter.

If a permit application relies on performance criteria to satisfy an applicable standard or is discretionary under another provision of the interim planning scheme, the permit is discretionary only with respect to that standard.

The Council must have regard to all representations received during the notification period on a discretionary matter when determining whether to grant or refuse a permit.

e) *If the applicant is not the landowner*

If the applicant is not the owner of the land in the use or development site, the applicant is required to notify all of the owners either prior to or within 7 days from the date of making the permit application.

The permit application must identify all of the landowners; and the applicant must sign the application form to acknowledge the obligation to advise such landowners that the permit application has been made.

If the site includes land owned or administered by the Burnie City Council or by a State government agency, the consent in writing from the Council or the Minister responsible for Crown land must be provided at the time of making the application.

f) *Applicant declaration*

It is an offence for a person to do any act that is contrary to a compliance requirement created under the section 63 *Land Use Planning and Approvals Act 1993*. The applicant is required to complete a declaration that the information given in the permit application is true and correct.

g) *Payment of Fees*

The Council is not required to take any action on the permit application until all the relevant fees have been paid.

Permit Information

(NB If insufficient space, please attach separate document)

Proposed Use:

Use Class

Documents included with the permit application to describe the Use

Proposed Development

Use class to which the development applies

Documents included with the permit application to describe the Development

Provisions and Standards relied upon for grant of a Permit

Notification of Landowner/s

If land is not in applicant's ownership

I, _____, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the permit application involves land owned or administered by the BURNIE CITY COUNCIL

Burnie City Council consents to the making of this permit application.

General Manager (Signature)

Date

If the permit application involves land owned or administered by the CROWN

I, the Minister responsible for the land, consent to the making of this permit application.

Minister (Signature)

Date

Applicant Declaration

I, _____, declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant

Date

SEARCH OF TORRENS TITLE

VOLUME 160925	FOLIO 71
EDITION 3	DATE OF ISSUE 20-Jan-2021

SEARCH DATE : 28-Mar-2024

SEARCH TIME : 02.27 PM

DESCRIPTION OF LAND

City of BURNIE
 Lot 71 on Sealed Plan 160925
 Derivation : Part of Lot 22544, 496A-2R-12P Gtd.to L. Bryant
 Prior CT 160924/99

SCHEDULE 1

M860697 TRANSFER to ANTHONY JOHN BURK and TRACEY MAREE BURK
 Registered 20-Jan-2021 at 12.02 PM

SCHEDULE 2

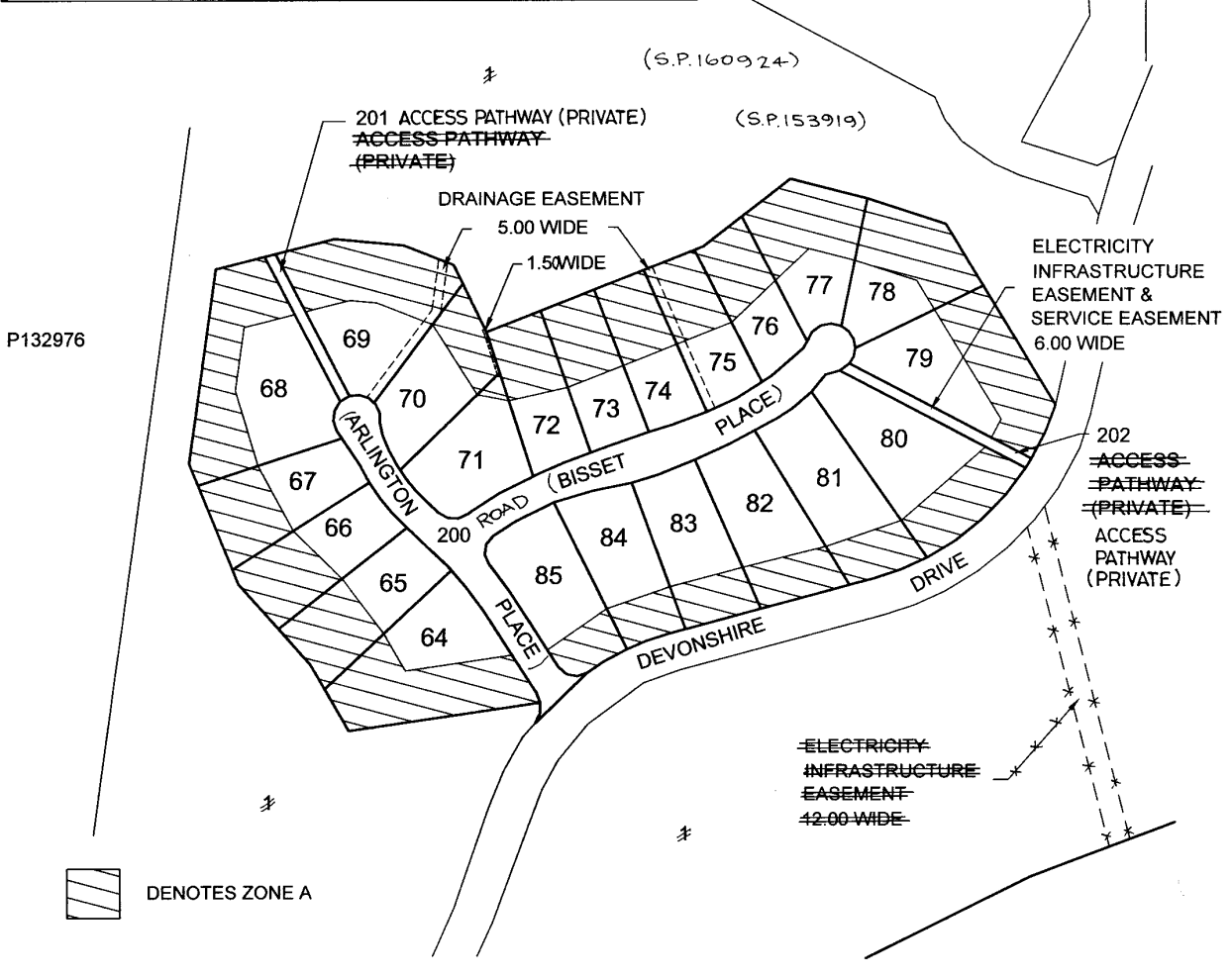
Reservations and conditions in the Crown Grant if any
 SP160925 EASEMENTS in Schedule of Easements
 SP160925 COVENANTS in Schedule of Easements
 SP160925 FENCING PROVISION in Schedule of Easements
 SP160924 COVENANTS in Schedule of Easements
 SP160924 FENCING PROVISION in Schedule of Easements
 SP135405 FENCING COVENANT in Schedule of Easements
 C811122 FENCING PROVISION in Transfer
 C924601 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 14-Jan-2011 at 12.03 PM
 E245441 MORTGAGE to Commonwealth Bank of Australia
 Registered 20-Jan-2021 at 12.03 PM
 C924602 APPLICATION for registration of a community
 development scheme including first by-laws of the
 body corporate Registered 14-Jan-2011 at 12.04 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: EAGLE SEA PTY LTD		PLAN OF SURVEY		Registered Number
FOLIO REFERENCE F/R 160924 - 95 99				BY SURVEYOR VICTOR WILLIAM COCHRANE REGISTERED SURVEYOR LAND SURVEYING SOLUTIONS PTY LTD 47 ROSTELLA ROAD, DILSTON survey@landsurveyor.com.au
GRANTEE: SEE BELOW PART OF LOT 22544, 496A-2R-12P GTD. TO L. J. BRYANT		LOCATION	APPROVED EFFECTIVE FROM 14 JAN 2011 <i>Mick Kawa</i> Recorder of Titles	
		SCALE 1:2500 @ A3	LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No 103	LAST UPI No 4201274	LAST PLAN No S.P. 160924	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

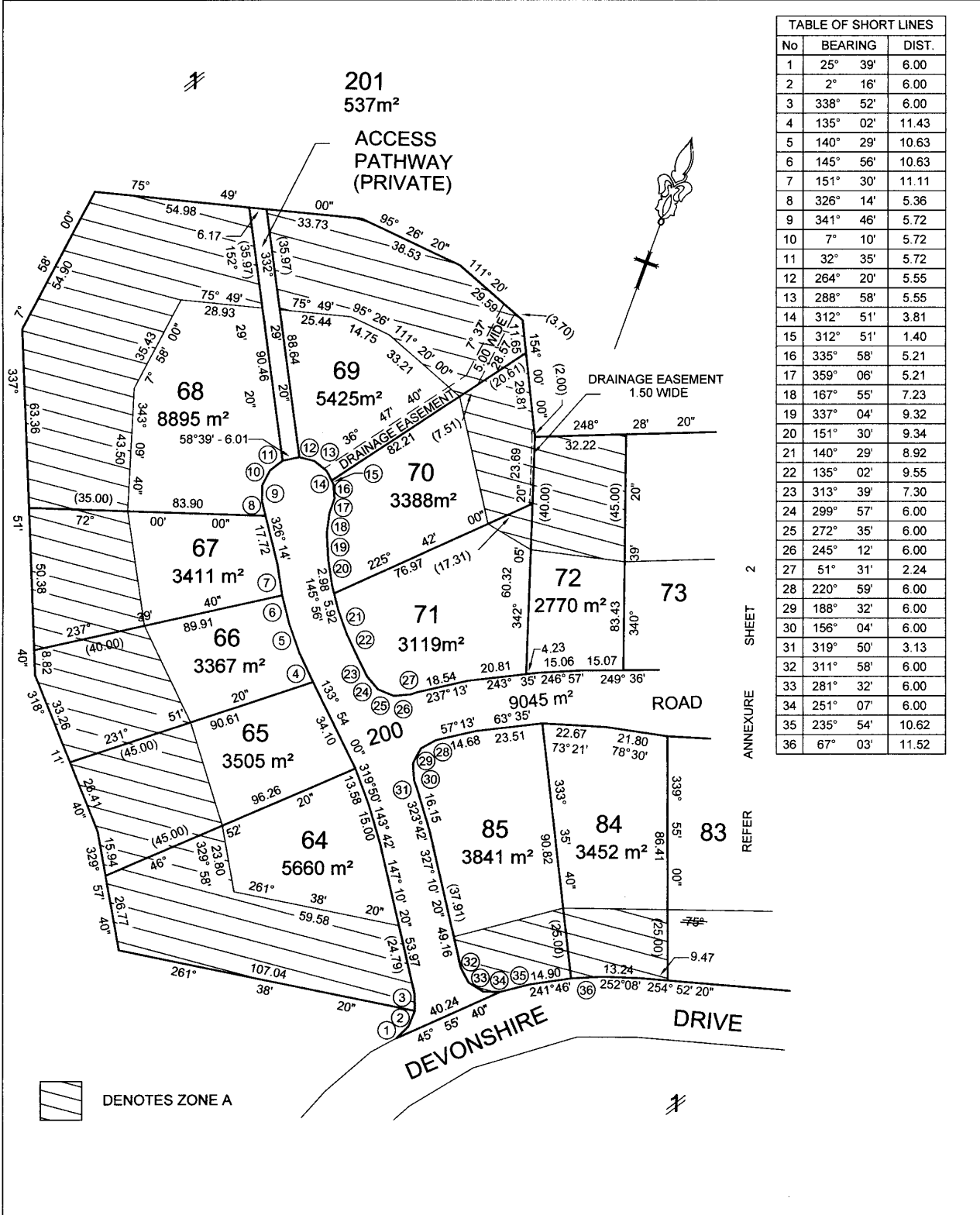
GRANTEE LIST
 PART OF LOTS 1003 28.89 ha, 1001 2248 m2, 1000 9356 m2, 1000, 1.264 ha GTD. TO THE CROWN,
 PART OF LOT 1 15A-1R-31P SEC K2 GTD TO L.L. BURROWS
 PART OF LOT 22544, 496A-2R-12P GTD. L. J. BRYANT
 PART OF LOT 10595 29A-3R-35P GTD TP R MITCHELL,
 WHOLE OF LOT 1 18A-3R-39P SEC H2 GTD TO L.L. BURROWS
 PARTS OF 12A-2R-25P SEC J2 & 23A-1R-0P SEC G2 GTD TO R.G. BOND
 PART OF LOT 30024 4A-1R-21P GTD TO AUST. TITAN PRODUCTS PTY LTD
 PRIOR CTs 135859/5, 135859/4, 27188/2, 154970/1, 135405/2, 135859/3, 141289/1, 209473/1 AND 153919/3



~~LOTS 64 TO 85 WITHIN THIS PLAN HAVE BEEN FULLY DEVELOPED IN ACCORDANCE WITH THE HEYBRIDGE RESIDENTIAL ESTATE COMMUNITY DEVELOPMENT SCHEME AND PART 4 DIVISION 8 OF THE STRATA TITLES ACT 1998 IS NOT APPLICABLE TO THE SALE OR TRANSFER OF TITLE OF ANY OF THOSE LOTS.~~

[Signature] 23/11/10
 COUNCIL DELEGATE DATE

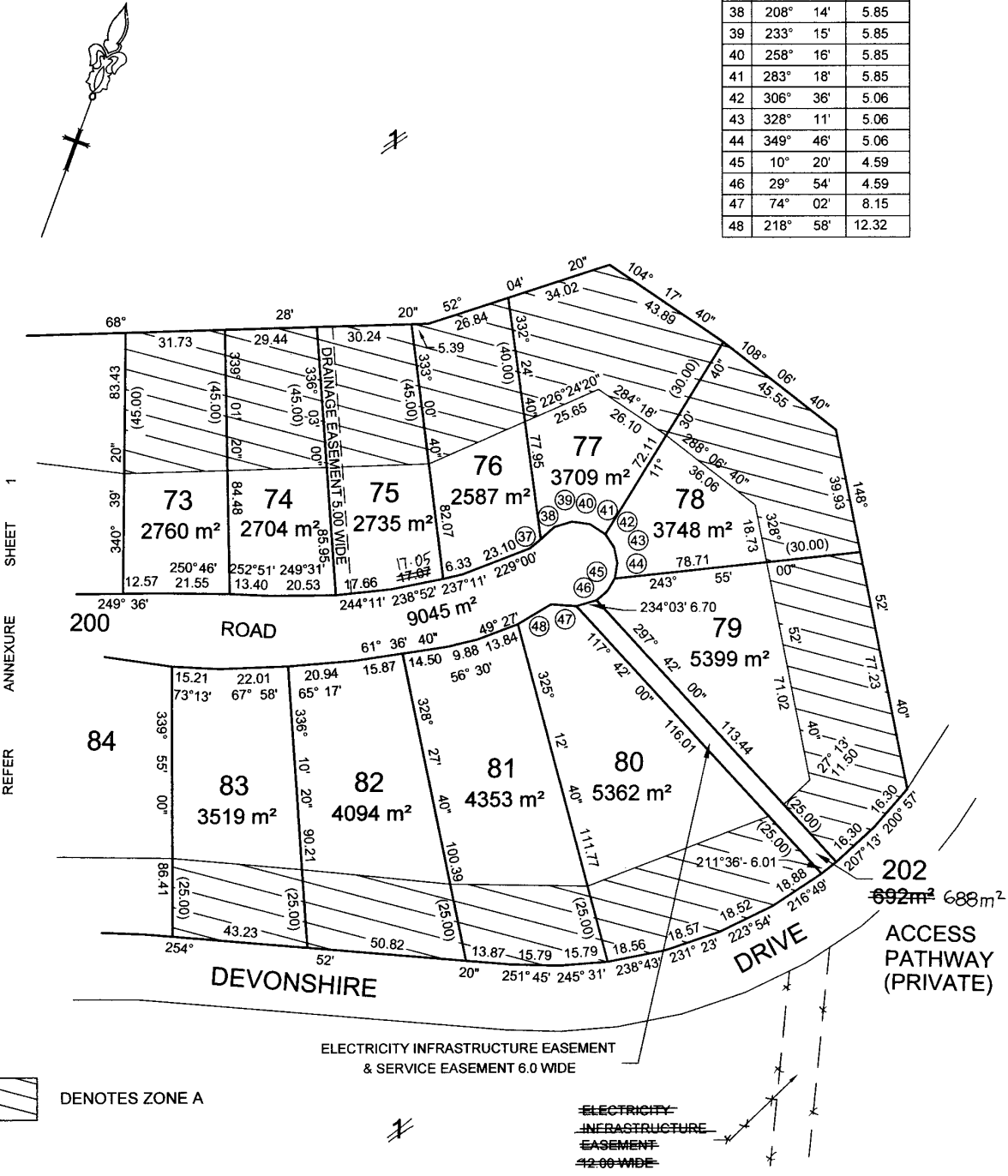
<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 2 SHEETS</p>	<p>OWNER : EAGLE SEA PTY LTD FOLIO REFERENCE 160924 - 99 SCALE 1:1250 @ A3 LENGTH IN METRES</p>	<p>Registered Number SP 160925</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 23/11/10 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. <i>[Signature]</i> 1/9/2010 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 14 JAN 2011 <i>[Signature]</i> Recorder of Titles</p>



No	BEARING	DIST.
1	25° 39'	6.00
2	2° 16'	6.00
3	338° 52'	6.00
4	135° 02'	11.43
5	140° 29'	10.63
6	145° 56'	10.63
7	151° 30'	11.11
8	326° 14'	5.36
9	341° 46'	5.72
10	7° 10'	5.72
11	32° 35'	5.72
12	264° 20'	5.55
13	288° 58'	5.55
14	312° 51'	3.81
15	312° 51'	1.40
16	335° 58'	5.21
17	359° 06'	5.21
18	167° 55'	7.23
19	337° 04'	9.32
20	151° 30'	9.34
21	140° 29'	8.92
22	135° 02'	9.55
23	313° 39'	7.30
24	299° 57'	6.00
25	272° 35'	6.00
26	245° 12'	6.00
27	51° 31'	2.24
28	220° 59'	6.00
29	188° 32'	6.00
30	156° 04'	6.00
31	319° 50'	3.13
32	311° 58'	6.00
33	281° 32'	6.00
34	251° 07'	6.00
35	235° 54'	10.62
36	67° 03'	11.52

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER : EAGLE SEA PTY LTD FOLIO REFERENCE 160924-99 SCALE 1:1250 @ A3 LENGTH IN METRES</p>	<p>Registered Number SP 160925</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>David</i> 23/11/10 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET <i>Victor D. O'Connell</i> 1/9/2010 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 11 JAN 2011 <i>Alice Kawa</i> Recorder of Titles</p>

No	BEARING	DIST.
37	210° 07'	4.56
38	208° 14'	5.85
39	233° 15'	5.85
40	258° 16'	5.85
41	283° 18'	5.85
42	306° 36'	5.06
43	328° 11'	5.06
44	349° 46'	5.06
45	10° 20'	4.59
46	29° 54'	4.59
47	74° 02'	8.15
48	218° 58'	12.32



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP160925

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 64 to 85 inclusive on the Plan are together with a right of carriageway over the Right of Way (Private) \surd variable width shown on SP160924 & Service Easement

Lots 64 to 85 inclusive on the Plan are together with a pipeline easement, as hereinafter defined, over the Pipeline Easement variable width shown on SP160924 and more particularly described on SP153919.
& Service

Lots 64 to 85 inclusive on the Plan are together with service easements, as hereinafter defined, over the \surd Service Easements variable width shown on SP160924 and more particularly described on SP153919.
Pipeline & Right of Way (Private) & Service Easement variable width &


Lots 64 to 85 inclusive on the Plan are together with a service easement, as hereinafter defined, over the \surd Service Easement 8.00 wide shown on SP160924
Emergency Evacuation Way (Private) &

Lots 64 to 85 inclusive on the Plan are together with a right of drainage over the Drainage Easement ~~as to whole shown on SP~~ over the whole of Lot 1 on SP160924

Lots 64 to 85 inclusive on the Plan are together with a right of evacuation, as hereinafter defined, over the Fire Escape Way (Private) 8.00 wide shown on SP160924 and more particularly described on SP153919.

Lot 71 on the Plan is together with a right of drainage over the Drainage Easement 1.50 wide shown on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Eagle Sea Pty Ltd FOLIO REF: 160924 /99 SOLICITOR & REFERENCE: Paul Chan Dobson Mitchell & Allport (ref. 1904289)	PLAN SEALED BY: Burnie City Council DATE: 23/11/10 SD2008/1113 REF NO.  Council Delegate
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP160925</p>
<p>SUBDIVIDER: Eagle Sea Pty Ltd FOLIO REFERENCE: 160924/199</p>	

Lot 70 on the Plan is subject to a right of drainage (appurtenant to Lot 71 on the Plan) over the Drainage Easement 1.50 wide shown on the Plan.

Lot 69 on the Plan is subject to a right of drainage in favour of Burnie City Council over the Drainage Easement 5.00 wide shown on the Plan.

Lot 75 on the Plan is subject to a right of drainage in favour of Burnie City Council over the Drainage Easement 5.00 wide shown on the Plan.

Electricity Infrastructure Easement &

Lots 64 to 85 inclusive on the Plan are together with a service easement, as hereinafter defined, over the Service Easement 6.00 wide shown on the Plan

Lot 202 on the Plan is subject to a service easement, as hereinafter defined, (appurtenant to Lots 64 to 85 inclusive on the Plan) over the Service Easement 6.00 wide shown on the Plan.

Electricity Infrastructure Easement &

Lot 202 on the Plan is subject to a wayleave easement and restrictions as to user of land, as hereinafter defined, in favour of Aurora Energy Pty Ltd over the Electricity Infrastructure Easement 6.00 wide shown on the Plan.

& Service Easement

Lots 64 to 85 inclusive on the Plan are together with a right of foot way over the Access Pathways (Private) shown on the Plan.

Lots 201 and 202 inclusive on the Plan are subject to a right of foot way (appurtenant to Lots 64 to 85 inclusive on the Plan)

DEFINITIONS

over the Access Pathways (Private) shown on the Plan.

“**Pipeline Easement**” means the full and free right and liberty for the proprietor of the dominant tenement at all times with others and machinery to enter upon the land marked “Pipeline Easement” on SP 160924 :

- a) to lay and maintain water pipes, valves and fittings along, through and under the said land for the purpose of providing a supply of water to the dominant tenement; and
- b) to inspect, cleanse, repair and maintain such pipes provided that the rights granted are exercised in a proper manner so as to cause as little inconvenience as possible and to do as little damage as practicable to the said land.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP160925</p>
<p>SUBDIVIDER: Eagle Sea Pty Ltd FOLIO REFERENCE: 160924 /99</p>	

“Right of Evacuation” means the full and free right:

- a) for the proprietor of the dominant tenement to enter upon the land marked “Fire Escape Way (Private) 8.00 wide” on SP 160924 to establish and maintain a trafficable 2WD access to George Street; and
- b) for owners, occupiers and invitees of the dominant tenement to use the way only in the event of a bush fire, or other emergency, that requires evacuation to George Street.

“Service Easement” means the full and free right and liberty for the proprietor of the dominant tenement, the Burnie City Council, Telstra Corporation Limited, Aurora Energy Pty Ltd and the Crown its agents and contractors to enter upon the land marked “Service Easement” on the Plan and on SP 160924 to lay, inspect, maintain, repair and amend water mains, pipes, pumps, drains, mains, channels, gutters, sewers, wires, cables and other conducting media along and under the surface of the land, provided that the rights granted are exercised in a proper manner so as to cause as little inconvenience as possible and to do as little damage as practicable to the said land.

“Wayleave easement and restrictions as to user of land” means:

Firstly all the full and free right and liberty for Aurora Energy Pty Ltd and its successors and its and their servants agents and contractors at all times hereafter:

- a) to clear the lands shown as “Electricity Infrastructure Easement 6.00 wide” shown on the Plan (hereinafter called “the servient land”) and to erect construct place inspect alter repair renew maintain and use in upon over and along and remove from the servient land towers poles wires cables apparatus appliances and other ancillary work (all of which are hereinafter collectively referred to as “the said lines”) for the transmission and distribution of electrical energy and for purposes incidental thereto:
- b) to cause or permit electrical energy to flow or be transmitted through and along the said lines;
- c) to cut away remove and keep clear of the said lines all trees and all other obstructions or erections of any nature whatsoever which may at any time overhang encroach or be in or on the servient land and which may in any way endanger or interfere with the proper operation of the said lines; and making good all damage occasioned thereby;
- d) to enter into and upon the servient land and if necessary to cross the remainder of the said land for the purpose of access and regress to and from the servient land for all or any of the above purposes with or without all necessary plant equipment machinery and vehicles of every kind, and making good all damage occasioned thereby.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 160925</p>
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SUBDIVIDER: Eagle Sea Pty Ltd
FOLIO REFERENCE: 160924 /99

Secondly the benefit of a covenant for Aurora Energy Pty Ltd and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structure, objects or vegetation that could interfere with the proper and safe operation of the said lines to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easements first hereinbefore described.

COVENANTS

The owner of each lot on the Plan covenants with Eagle Sea Pty Ltd (the subdivider) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantor's lot, and every part thereof, and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:

1. ~~to make arrangements satisfactory to the Burnie City Council for on-site disposal of sewerage within the boundaries of the lot;~~
2. not to erect, construct or permit to remain on the lot any dwelling other than a single private dwelling;
3. not to erect, construct or permit to remain on the lot any building for the purposes of a residential dwelling inside the areas denoted as Zone A on the plan;
4. not to erect, construct or permit to remain on the lot any building exceeding the height of six metres above the natural ground level;
5. not to erect, construct or permit to remain on the lot a residential building without submitting to the Burnie City Council with a development application a waste water treatment scheme designed by an appropriately qualified person; and ~~(without making arrangements satisfactory to the Burnie City Council for on-site disposal of sewerage within the boundaries of the lot; and)~~
6. not to use or permit or suffer the use of the land marked Emergency Evacuation Way (Private) 8.00 wide on the Plan unless it is in the event of a bush fire, or other emergency, that requires evacuation to George Street.

SP160924

Words added

Alice Kawa

RECORDER OF TITLES 29/11/2011

FENCING PROVISIONS

1. In respect of the lots on the Plan, the vendor Eagle Sea Pty Ltd shall not be required to fence.
- ~~1. In respect of the lots on the Plan, the vendor Eagle Sea Pty Ltd shall not be required to fence.~~
- ~~2. In respect of the lots on the Plan:~~
 - ~~a) notwithstanding anything contained or implied in the Boundary Fences Act 1908, the Heybridge Residential Estate body corporate shall not be required to contribute to the cost of~~

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 160925
SUBDIVIDER: Eagle Sea Pty Ltd FOLIO REFERENCE: 160924 /99	

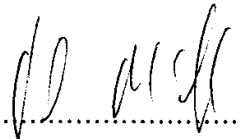
~~erecting, repairing, or maintaining any boundary fence between the lots on the Plan and any adjoining land belonging to the Heybridge Residential Estate body corporate; and~~

~~b) the Heybridge Residential Estate body corporate shall at all times be indemnified and kept indemnified by the owner of each lot on the Plan, his personal representatives and assigns against all claims and demands in respect of any such boundary fences.~~

Executed by **Eagle Sea Pty Ltd** (ACN 129 309 815) the registered proprietor of the land comprised in folio of the Register volume **160924** folio 99 in accordance with Section 127(1) of the Corporations Act 2001)



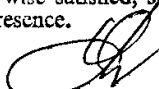
Director
Alfonso Messieh



Director
Paul Joseph McGrath

Executed by **Westpac Banking Corporation**, the Mortgagee under Mortgage No. C877413)

I certify that the Attorney for the **MORTGAGEE**, with whom I am personally acquainted or as to whose identity I am otherwise satisfied, signed this instrument in my presence.




Signature of Witness:

Name of Witness: **712 110 10**

Address of Witness: 360 Collins Street, Melbourne
BANK OFFICER

SIGNED by **MARGARET HANCOCK**, attorney for Westpac Banking Corporation, an attorney registered No. 73...



By signing this instrument the attorney states that she is acting in the office of the revocation of the power of attorney.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



Proposed Residential Development – 2 Arlington Place, Heybridge

Bushfire Hazard Report

Applicant: Wilson Homes

Job Number: 714035



May 2024 J10477v1

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Disclaimer

The measures contained in Australian Standard 3959-2018 cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the unpredictable nature and behaviour of fire and extreme weather conditions.

Reasonable steps have been taken to ensure that the information contained within this report is accurate and reflects the conditions on and around the lot at the time of assessment. The assessment has been based on the information provided by you or your designer.

Authorship

This report was prepared by Mark Van den Berg BSc. (Hons.) FPO (planning) of Geo Environmental Solutions. Base data for mapping: TasMap, Digital and aerial photography: Mark Van den Berg, GoogleEarth.

1.0 Purpose

This bushfire hazard report is intended to provide information in relation to residential development within a bushfire-prone area. It will demonstrate compliance with the *Directors Determination – Bushfire Hazard Areas. Version 1.1. 8th April 2021*. Provide a certificate of others (form 55) as specified by the Director of Building Control for bushfire hazard and give guidance by way of a certified bushfire hazard management plan which shows a means of protection from bushfires in a form approved by the Chief Fire Officer of the Tasmania Fire Service.

2.0 Summary

Site details & compliance

Title reference	160925/71
PID	3111830
Address	2 Arlington, Place Heybridge
Applicant	Wilson Homes
Municipality	Burnie
Planning Scheme	Tasmanian Planning Scheme - Burnie
Zoning	Landscape Conservation
Land size	~0.3Ha
Bushfire Attack Level	BAL-12.5
Certificate of others (form 55)	Complete and attached
Bushfire Hazard Management Plan	Certified & Attached

Development of a new class 1a building at 2 Arlington, Place Heybridge requires demonstrated compliance with the *Directors Determination – Bushfire Hazard Areas, version 1.1, 8th April 2023*, the site is located in a bushfire prone area. The Bushfire attack level has been determined as 'BAL-12.5', provision for property access, water supplies for firefighting, hazard management areas and construction standards will be required as detailed in this report and the Bushfire Hazard Management Plan (BHMP).

3.0 Introduction

This bushfire hazard report has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as being in a bushfire prone area. A site-specific bushfire hazard management plan has been provided for compliance purposes.

4.0 Proposal

It is proposed that a new class 1a building and associated property access is developed at 2 Arlington, Place Heybridge (appendix B).

5.0 Bushfire Attack Level (BAL) Assessment

5.1 Methods

The Bushfire attack level has been determined through the application of section 2 of AS3959-2018 'Simplified Procedure'. Vegetation has been classified using a combination of onsite observations and remotely sensed data to be consistent with table 2.3 of AS3959-2018. Slope and distances have been determined by infield measurement and/or the use of remotely sensed data (aerial/satellite photography, GIS layers from various sources) analysed with proprietary software systems. Where appropriate vegetation has been classified as low threat.

5.2 Site Description

The proposal is located at 2 Arlington, Place Heybridge, in the municipality of Burnie and is zoned Landscape Conservation under the Tasmanian Planning Scheme - Burnie . Access to the lot will be by an existing crossover from Arlington Place, a council-maintained road. The lot is ~0.3 Ha, is broadly rectangular in shape and is located approximately 1.4km south south-east of Round Hill(Figure 1). Adjacent lands surrounding the lot are zoned Landscape Conservation and Environmental Management and carry forest and low threat vegetation. At a landscape scale the lot occurs in an existing residential subdivision which is located within a landscape scale forest vegetation unit. The lot has gentle to moderate slopes with a northerly aspect, which, in this circumstance is unlikely to influence the bushfire attack at the site. Nearby forest vegetation will contribute significantly to ember attack at the site which may occur from any direction.

Vegetation surrounding the lot was assessed (Table 1) and described as 'forest' or excluded from the assessment as low threat vegetation in accordance with AS3959-2018. The classified vegetation potentially having the greatest impact on the site occurs to the north of the site (Figure 2). The vegetation classification system as defined in AS 3959-2018 Table 2.3 and Figure 2.3 (A to H) has been used to determine vegetation types within 100 metres of the site (Table 1).

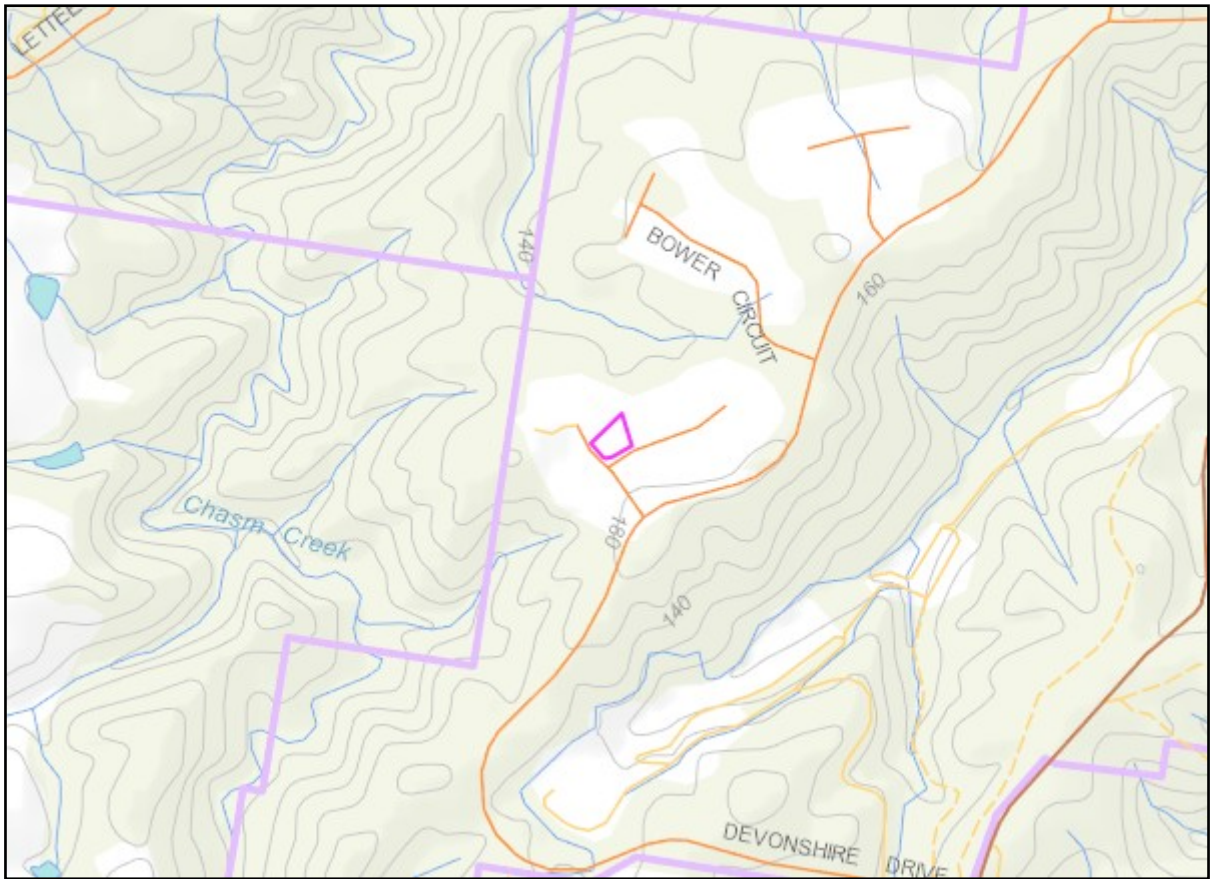


Figure 1. The lot in a topographical context (lot outlined in pink).



Figure 2. Shows the approximate location of the lot (pink line) in the context of the adjacent lands and classified vegetation.

Table 1. Bushfire Attack Level (BAL) Assessment

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-prone vegetation	Hazard management area width	Bushfire Attack Level
North	Exclusion 2.2.3.2 (e, f) ^{^^}	>5° to 10° downslope	0 to 61 metres	31 metres	BAL-12.5
	Forest [^]	>5° to 10° downslope	61 to 100 metres		
	--	--	--		
	--	--	--		
East	Exclusion 2.2.3.2 (e, f) ^{^^}	flat 0°	0 to 100 metres	Title boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
South	Exclusion 2.2.3.2 (e, f) ^{^^}	>0 to 5° downslope	0 to 100 metres	Title boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
West	Exclusion 2.2.3.2 (e, f) ^{^^}	flat 0°	0 to 100 metres	Title boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		

[^] Vegetation classification as per AS3959-2018 and Figures 2.6(A) to 2.6 (H).

^{*} Low threat vegetation as per Bushfire Prone Areas Advisory Note (BHAN) No.1-2014, version 3, 8/11/2017.

^{^^} Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

6.0 Results

The bushfire attack level for the building area has been assessed and classified as BAL-12.5, indicating a moderate to low risk profile. The site is susceptible to ember attack and may experience relatively low levels of radiant heat exposure. The construction components of the building are expected to withstand a maximum heat flux of 12.5 kW/m².

6.1 Property Access

Property access is less than 30 metres in length. In this circumstance there are no further design or construction requirements for property access.

6.2 Water supplies for fire fighting

The site is not serviced by a reticulated water supply, therefore a dedicated, static firefighting water supply will be provided in accordance with table 2.

Table 2. Requirements for Static Water Supplies dedicated for Firefighting

Element		Requirement
A.	Distance between building area to be protected and water supply	The following requirements apply: (a) The building area to be protected must be located within 90 metres of the firefighting water point of a static water supply; and (b) The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area
B.	Static Water Supplies	A static water supply: (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including firefighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959:2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a firefighting water point for a static water supply must: (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) Where buried, have a minimum depth of 300mm; (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and (i) Where a remote offtake is installed, ensure the offtake is in a position that is: (i) Visible; (ii) Accessible to allow connection by firefighting equipment; (iii) At a working height of 450 – 600mm above ground level; and (iv) Protected from possible damage, including damage by vehicles.
D.	Signage for static water connections	The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: (a) comply with water tank signage requirements within AS 2304:2019; or (b) comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.

E.	Hardstand A hardstand area for fire appliances must be provided:	(a) No more than three metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.
----	--	---

6.3 Hazard management area.

A hazard management area will need to be established and maintained for the life of the development and is shown on the BHMP. Guidance for the establishment and maintenance of the hazard management area is given below and on the BHMP.

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following strategies;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintain grass at less than a 100mm height;
- Avoid the use of flammable mulches (especially against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide vertical separation between fuel layers;
- Remove and or prune larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintain vegetation clearance around vehicular access;
- Use low-flammability plant species for landscaping purposes where possible;
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

7.0 Compliance

Table 3. Compliance with the Directors Determination - Bushfire Hazard Areas, version 1.1, 8th April 2021.

Requirements	Compliance
2.3.1 Construction Requirements	<p>Clause 2.3.1 requires buildings to be constructed in accordance with AS3959-2018 or NASH standard – Steel Framed Construction in Bushfire Areas consistent with the BAL determined for the site.</p> <p>The BHMP specifies construction to BAL-12.5 standards of AS3959-2018.</p> <p>If the proposed buildings are designed and constructed in accordance with BAL-12.5 construction standards the development will comply with clause 2.3.1.</p>
2.3.2 Property Access	<p>Clause 2.3.2 requires property access to be designed and constructed to comply with table 2 of the determination and is applicable from the public roadway to within (at minimum) 90 metres of the furthest part of the building/s and includes access to a hardstand for the firefighting water point.</p> <p>In this circumstance there is no requirement for minimum design and construction standards for property access as property access is not required to access a</p>

	<p>firefighting water connection point.</p> <p>There are no further requirements to achieve compliance with clause 2.3.2.</p>
2.3.3 Water Supply for Firefighting	<p>Clause 2.3.3 requires that a new building constructed in a bushfire-prone area is provided with a dedicated firefighting water supply in accordance with tables 3A or 3B.</p> <p>Static water supplies consistent with table 3B are require for compliance and are shown on the BHMP.</p> <p>If the requirements of section 6.2 of this report are implemented the proposal will comply with clause 2.3.3.</p>
2.3.4 Hazard Management Areas	<p>Clause 4.4 requires that new buildings in bushfire-prone areas are provided with an HMA which is compliant with table 4. The HMA must have the minimum separation distances required for the BAL determined for the site and, have an HMA established which reduces fuels and other hazards so that fuels and other hazards do not significantly contribute to the bushfire attack.</p> <p>HMA's are shown on the BHMP and are specified to the minimum widths required to achieve BAL-12.5 for the site. This report and the BHMP specify requirements for hazard management areas.</p> <p>If the HMA's are established in accordance with the BHMP the proposal will comply with clause 2.3.4</p>
2.3.5 Emergency Plan	<p>The proposal is for class 1a building, Emergency Plans are not required to achieve compliance with the determination in this circumstance.</p>

8.0 Guidance

The defensible space (hazard management area) around a building is critical for providing occupants and/or fire fighters with safe access to the building in order that firefighting activities may be undertaken. The larger the defensible space, the safer it will be for those defending the structure. Some desirable characteristics of a hazard management area are:

- The area directly adjacent to the building has a significant amount of flammable material removed such that there is little to no material available to burn around the building;
- Includes non-flammable areas such as paths, driveways, short cropped lawns;
- Establishment of orchards, vegetable gardens, dams or waste water effluent disposal areas on the fire prone side of the building;
- Creating wind breaks and radiation shields such as non-combustible fences and low flammability hedges;
- Removing fire hazards such as wood piles, rubbish heaps and stored fuels;
- Creating and maintaining vertical as well as horizontal separation between ground fuels and tree canopies by pruning;
- It is not necessary to remove all vegetation from the defensible space, trees can provide protection from wind borne embers and radiant heat in some circumstances.

9.0 Further Information

For further information on preparing yourself and your property for bushfires visit the Tasmania Fire Service website at www.fire.tas.gov.au or phone 1800 000 699 for information on:

- Preparing a bushfire survival plan
- Preparing yourself and your home for a bushfire
- Guidelines for development in bushfire prone areas in Tasmania
- Fire resisting plants for the urban fringe and rural areas
- Using fire outdoors
- Fire permits
- Total fire bans
- Bushfires burning in Tasmania

10.0 References

Australian Building Codes Board, *National Construction Code, Building Code of Australia*, Australian Building Codes Board, Canberra.

Building Amendment (Bushfire-Prone Areas) Regulations 2016

Determination, Director of Building Control – Requirements for Building in Bushfire-Prone Areas (transitional), version 2.2 6th February 2020. Consumer, Building and Occupational Services, Department of Justice, Tasmania.

The Bushfire Planning Group 2005, *Guidelines for development in bushfire prone areas of Tasmania – Living with fire in Tasmania*, Tasmania Fire Service, Hobart.

Tasmania Fire Service 2013, *Building for Bushfire – Planning and Building in Bushfire-Prone Areas for Owners and Builders*.

Tasmanian Planning Scheme - Burnie. Tasmanian Planning Commission, Hobart.

Standards Australia, AS3959-2018 Construction of buildings in bushfire-prone areas. Sydney, NSW., Australia.

11.0 Limitations Statement

This Bushfire Hazard Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur as a result of bushfire. As stated in AS3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

Appendix A – Site Photos



Figure 3. Northern azimuth from the site.



Figure 4. Eastern azimuth from the site.



Figure 5. Southern azimuth from the site.



Figure 6. Western azimuth from the site

Appendix B - Site Plan





BUSHFIRE HAZARD MANAGEMENT PLAN

Bushfire Hazard Management Plan, 2 Arlington Place,
Heybridge. May 2024. J10477v1.
Tasmanian Planning Scheme - Burnie



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point.
T| 62231839 E| office@geosolutions.net.au

Compliance Requirements

Property Access

Property access is less than 30 metres in length. In this circumstance there are no minimum design or construction requirements for property access.

Water Supplies for Firefighting

The site is not serviced by a reticulated water supply, therefore a dedicated, static firefighting water supply will be provided in accordance with the following:

- A) Distance between building area to be protected and water supply
The following requirements apply:
- (a) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and
 - (b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.

- B) Static Water Supplies
A static water supply:
- (a) May have a remotely located offtake connected to the static water supply;
 - (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;
 - (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;
 - (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and
 - (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2009, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:
 - (i) metal;
 - (ii) non-combustible material; or
 - (iii) fibre-cement a minimum of 6 mm thickness.

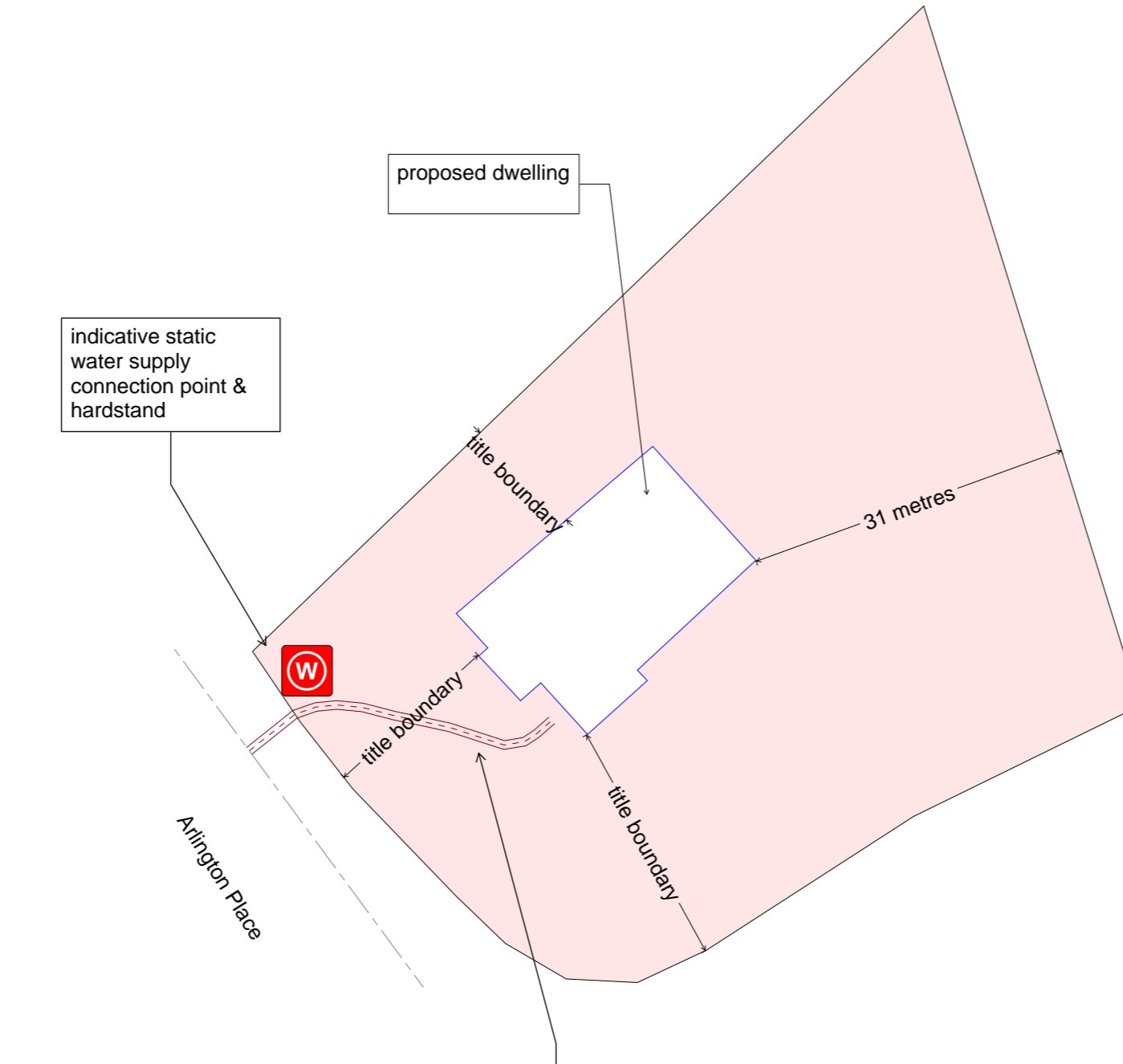
- C) Fittings and pipework associated with a fire fighting water point for a static water supply must:
- (a) Have a minimum nominal internal diameter of 50mm; (2) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
 - (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm;
 - (c) Be metal or lagged by non-combustible materials if above ground;
 - (d) Where buried, have a minimum depth of 300mm (compliant with AS/NZS 3500.1-2003 Clause 5.23);
 - (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment;
 - (f) Ensure the coupling is accessible and available for connection at all times;
 - (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length);
 - (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and
 - (i) Where a remote offtake is installed, ensure the offtake is in a position that is:
 - (i) Visible;
 - (ii) Accessible to allow connection by fire fighting equipment,
 - (iii) At a working height of 450 – 600mm above ground level; and
 - (iv) Protected from possible damage, including damage by vehicles.


- D) Signage for static water connections
The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service


- E) Hardstand
A hardstand area for fire appliances must be provided:
- (a) No more than three metres from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected;
 - (c) With a minimum width of three metres constructed to the same standard as the carriageway; and
 - (d) Connected to the property access by a carriageway equivalent to the standard of the property access.


Hazard Management Areas

A hazard management area is required to be established and maintained for the life of the building and is shown on this BHMP. Guidance for the establishment and maintenance of the hazard management area is also provided.



 Building Area

 Static Water Supply Point

 Hazard Management Area

Building Specifications to BAL-12.5 of AS3959-2018

Hazard Management Area

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following actions;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintain grass at less than a 100mm height;
- Remove pine bark and other flammable mulch (especially from against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide (vertical separation between fuel layers);
- Prune larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintain vegetation clearance around vehicular access and water supply points;
- Use low-flammability species for landscaping purposes where appropriate;
- Clear out any accumulated leaf and other debris from roof gutters and other accumulation points.

It is not necessary to remove all vegetation from the hazard management area, trees may provide protection from wind borne embers and radiant heat under some circumstances.

Certification No. J10477

Mark Van den Berg
Acc. No. BFP-108
Scope 1, 2, 3A, 3B, 3C.

Do not scale from these drawings. Dimensions to take precedence over scale. Written specifications to take precedence over diagrammatic representations.

Wilson Homes
250 Murray Street
Hobart, Tasmania 7000

C.T.: 160925/71
PID: 3111830

Date : 29/05/2024

Bushfire Hazard Management Plan 2 Arlington Place, Heybridge. May 2024. J10477v1.
Bushfire Hazard Report 2 Arlington Place, Heybridge. May 2024. J10477v1.

Drawing Number: A01

Sheet 1 of 1
Prepared by: MvdB

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type:

Bushfire Hazard

(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

The attached Bushfire Hazard Report and Bushfire Hazard Management Plan for the address detailed above in 'details of work'

Relevant

calculations:

Reference the above report.

References:

AS3959-2018 Construction of Buildings in Bushfire-prone Areas. Directors Determination for: Bushfire Hazard Areas v1.1 or Requirements for Building in Bushfire-prone Areas (transitional) v2.2

Substance of Certificate: (what it is that is being certified)

Bushfire Attack Level Assessment in accordance with AS3959-2018 and determination of other mitigation measures as required by the relevant Directors Determination as cited in the Bushfire Hazard Report.

Scope and/or Limitations

Scope: This report was commissioned to identify the Bushfire Attack Level for the existing property. Limitations: The inspection has been undertaken and report provided on the understanding that;-1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report. 2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken. 3. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:

Signed:



Certificate No:

J10477

Date:

29/05/2024

2 Arlington Place, Heybridge
 New single storey dwelling development.

BUR-S1.7.2 – Building height and siting – A2.

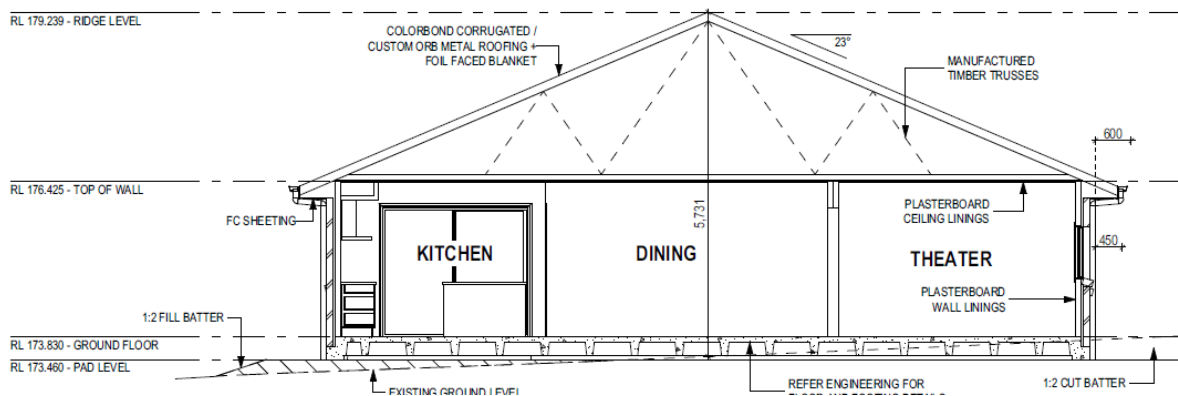
Buildings must have a setback from a frontage of not less than 20m.

The proposal does not comply with the acceptable solutions of A2 and therefore must rely on the performance criteria P2.

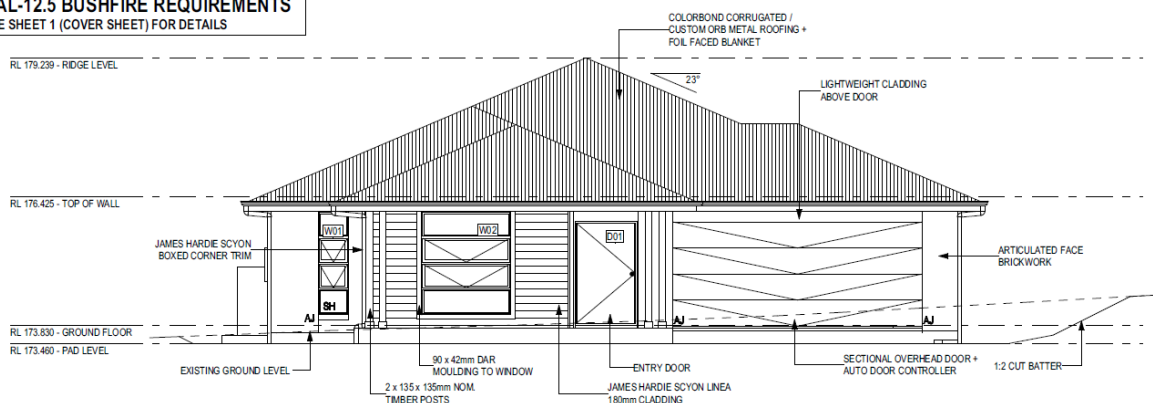
Due to the proposed 15m setback from the north/northwest boundaries, the new dwelling breaches the minimum 20m setback requirement from the Bissett Place frontage, the reduced setback is to allow for a future shed to be erected and driveway to be extended along the north/northwest boundaries.

The topography of the site consists of gentle to moderate slopes with a northerly aspect, nearby forest vegetation and existing dwellings surround the site however, the site is predominantly clear of natural vegetation and therefore landscaping to the frontage has been proposed which will provide screening from outside the property boundaries when viewed from Arlington & Bissett Places.

The proposed new development is consistent with the established dwellings in the hamlet, a single storey dwelling with a building height of 5.8m, a new floor area of 276.17m² and with a site coverage of 8.85% proposed.

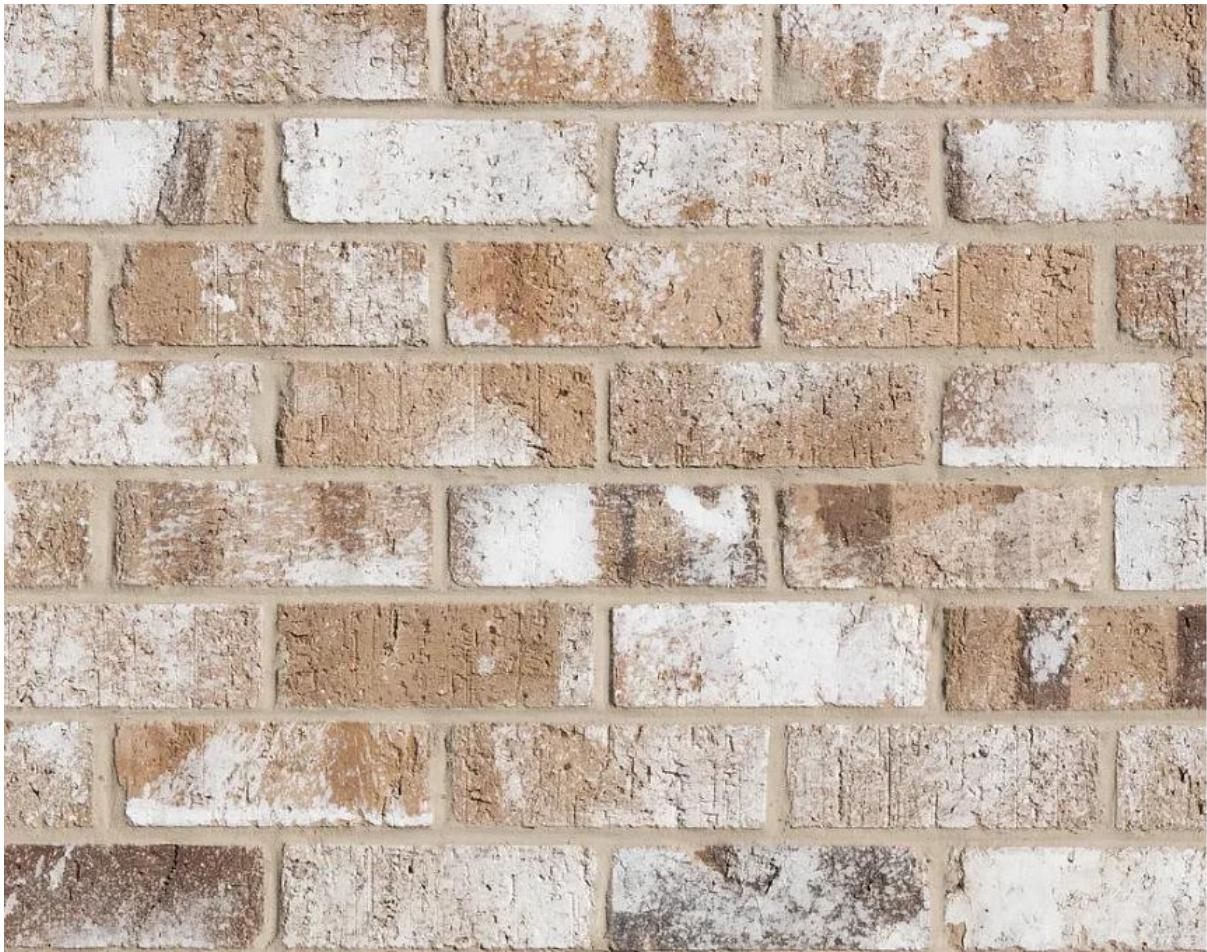


BAL-12.5 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS



2 Arlington Place, Heybridge
 New single storey dwelling development.

Brick Manufacturer – Austral Bricks – Range – Overland – Colour, Tarkine Pristine EXP



Range: Overland
Colour: Tarkine
SKU: 710900017350000336100


Technical Data

Length (mm)	230	Initial Rate of Absorption (IRA) (kg/m ² min)	1.5-3.0
Width (mm)	110	Coefficient of Expansion e'Factor (mm/m)	<1.0
Height (mm)	76	Durability Class	General Purpose
Dimensional Category	DW1	Liability to Efflorescence	Slight
Average Weight / Unit (kg)	3.5	Lime Pitting Liability	Slight
Core Volume (%)	<20	Solar Absorption	0.51
Units per Square Metre	48.5	LRV	26.5
Pack Size	384	Basix	Medium
Characteristic Unconfined Compressive Strength (f 'uc) MPa	>15	Place of Manufacture	Victoria
Maximum Cold Water Absorption (%)	<12	Product Warranty	100 Years

A BRAND OF
BRICKWORKS

2 Arlington Place, Heybridge
New single storey dwelling development.

Roof manufacturer – Colorbond – Range/Colour – Monument / Garage Door – Steel-line



Monument[®]
Classic finish

Colour Values		Nominal Thermal Values	
CMYK	24 18 14 90	Solar Absorptance	0.73
RGB	50 50 51	Solar Reflectance Index	27
HEX	#323233		





WILSON
HOMES

Direction to submit a Development Application

This document confirms the direction from HARVEY/BARRETT, owners of Lot 71 Arlington Place HEYBRIDGE to Wilson Homes Tasmania Pty Limited to act as their agent within the meaning of the *Land Use Planning and Approvals Act 1993* (Tasmania).

Signature

Signature

Date of signature

Date of signature

Important Owner Confirmation

The owners acknowledge that Wilson Homes will incur non-refundable fees to third parties that are likely to exceed the proposal acceptance fee already paid, including but not limited to:

- Structural engineering fees
 - Hydraulic engineering fees
 - Development application fees
 - Overlay reports
 - Arborist reports
 - Bushfire reports
 - Farm management reports; and
 - Dispersive soil reports
- depending on the requirements of your council.

The owners acknowledge that in the unlikely event that they do not proceed to a contract, these fees will be payable by the owners to Wilson Homes.

Signature

Signature

Date of signature

Date of signature

LOVE
BEING
home

1300 595 050
wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania

Northern Head Office Level 1, 78-96 Wellington Street, Launceston Tasmania

2 Arlington Place, Heybridge
New single storey dwelling development.

BUR-S1.7.2 – Building height and siting – A2.

Buildings must have a setback from a frontage of not less than 20m.

The proposal does not comply with the acceptable solutions of A2 and therefore must rely on the performance criteria P2.

Due to the proposed 15m setback from the north/northwest boundaries, the new dwelling breaches the minimum 20m setback requirement from the Bissett Place frontage, the reduced setback is to allow for a future shed to be erected and driveway to be extended along the north/northwest boundaries.

The topography of the site consists of gentle to moderate slopes with a northerly aspect, nearby forest vegetation and existing dwellings surround the site however, the site is predominantly clear of natural vegetation and therefore landscaping to the frontage has been proposed which will provide screening from outside the property boundaries when viewed from Arlington & Bissett Places.

P2

The setback of a building from a frontage must be compatible with the landscape values of the Heybridge Nature Reserve, having regard to:

- (a) the appearance when viewed from any location outside the boundaries of the hamlet

Please refer to pages 9/19 for perspective of proposed development when viewed from Bissett and Arlington Place. The natural topography of the landscape, excavation works, and proposed landscape plan will provide screening for the proposed new dwelling.

- (b) the topography of the site;

The topography of the site consists of gentle to moderate slopes with a northerly aspect, nearby forest vegetation and existing dwellings surround however, the proposed site is clear of natural vegetation.

- (c) the opportunity for screening afforded by the height and density of existing vegetation within the hamlet and in the surrounding Heybridge Nature Reserve buffer;

Additional landscape screening is proposed with the development to further contribute to the existing vegetation within the hamlet and Heybridge Nature Reserve.

- (d) whether location will assist in the retention of existing vegetation to screen development on the site and within the hamlet;

The site is predominately clear of existing vegetation however, there are no excavation or clearing of vegetation works proposed within the development of the new dwelling.

2 Arlington Place, Heybridge
New single storey dwelling development.

(e) the ability for landscape planting within the site to screen the building;

Please refer to landscape plan, page 4 for proposed landscape planting schedule to provide screening of the proposed new dwelling from Bisset & Arlington Places.

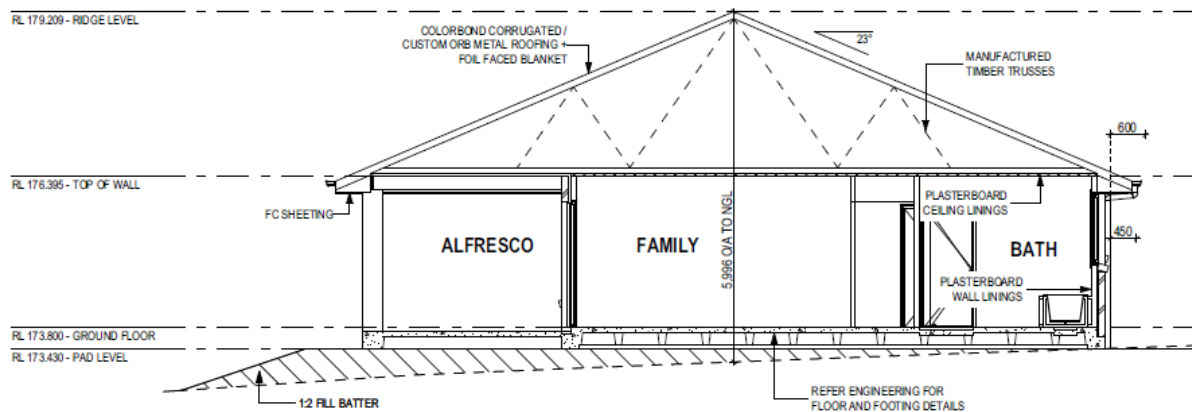
(f) the bulk, form and external finishes of the building; and

The proposed new development is consistent with the established dwellings in the hamlet, a single storey dwelling with a building height of 5.9m, a new floor area of 276.17m² and with a site coverage of 8.85% proposed.

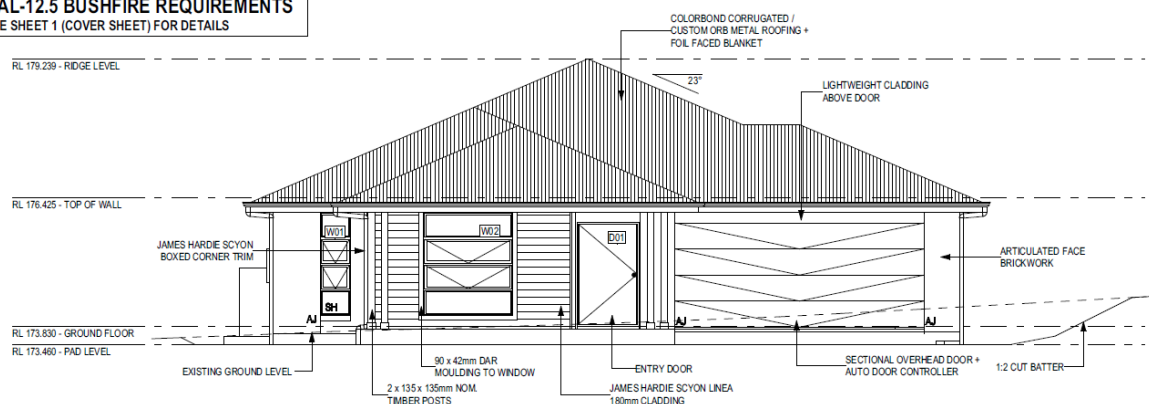
(g) the frontage setbacks of adjacent building.

Consideration should be taken as the proposed site is located on a corner block however, the frontage setbacks of the adjacent buildings appear compliant with the Heybridge Residential Nature Reserve Specific Area Plan.

As stated above, planting of vegetation to the front boundaries will assist with screening the proposed reduced setback.

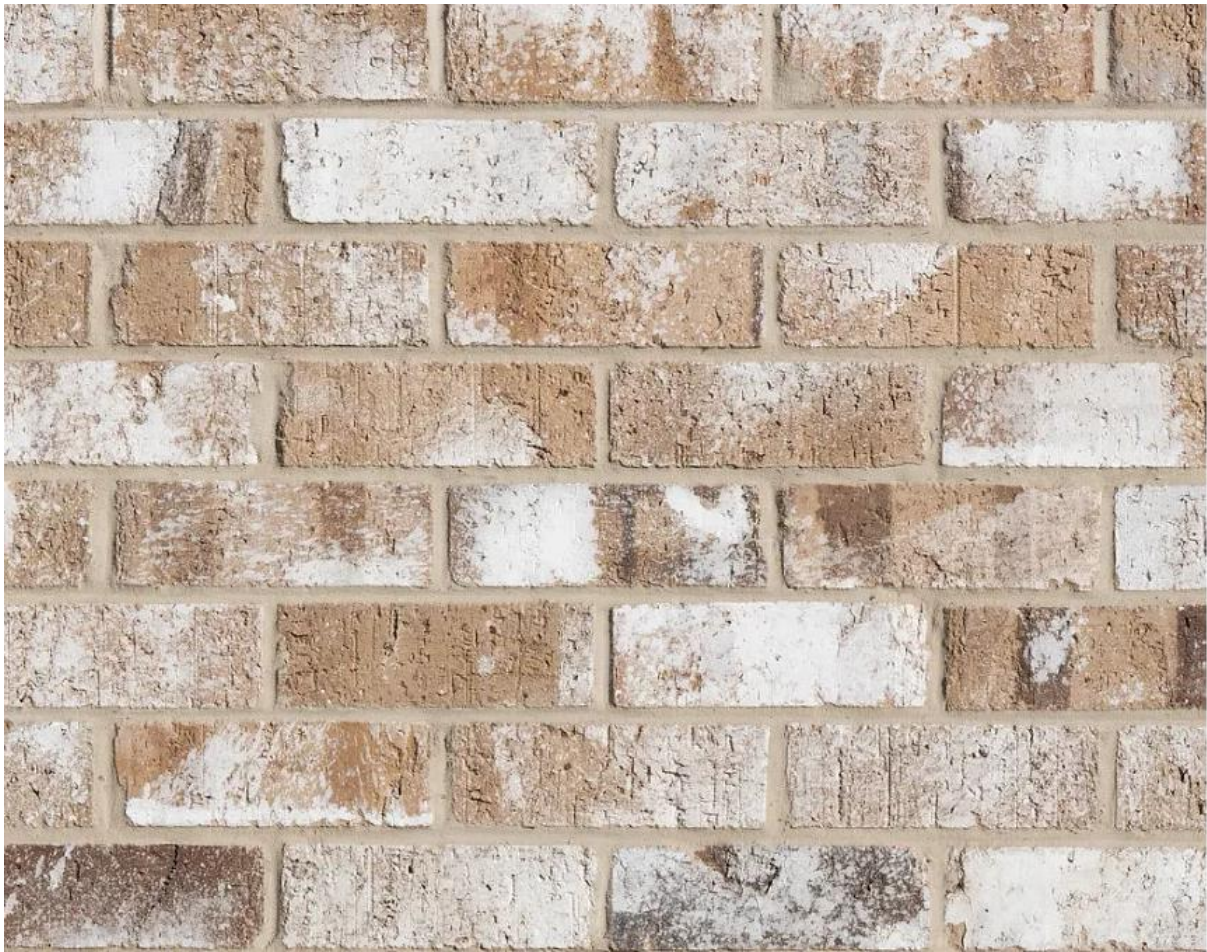


BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



2 Arlington Place, Heybridge
 New single storey dwelling development.

Brick Manufacturer – Austral Bricks – Range – Overland – Colour, Tarkine Pristine EXP



Range: Overland
Colour: Tarkine
SKU: 710900017350000336100


Technical Data

Length (mm)	230	Initial Rate of Absorption (IRA) (kg/m ² min)	1.5-3.0
Width (mm)	110	Coefficient of Expansion e'Factor (mm/m)	<1.0
Height (mm)	76	Durability Class	General Purpose
Dimensional Category	DW1	Liability to Efflorescence	Slight
Average Weight / Unit (kg)	3.5	Lime Pitting Liability	Slight
Core Volume (%)	<20	Solar Absorption	0.51
Units per Square Metre	48.5	LRV	26.5
Pack Size	384	Basix	Medium
Characteristic Unconfined Compressive Strength (f 'uc) MPa	>15	Place of Manufacture	Victoria
Maximum Cold Water Absorption (%)	<12	Product Warranty	100 Years

A BRAND OF
BRICKWORKS

2 Arlington Place, Heybridge
New single storey dwelling development.

Roof manufacturer – Colorbond – Range/Colour – Monument / Garage Door – Steel-line



Monument[®]
Classic finish

Colour Values		Nominal Thermal Values	
CMYK	24 18 14 90	Solar Absorptance	0.73
RGB	50 50 51	Solar Reflectance Index	27
HEX	#323233		



SHEET INDEX

COVER SHEET	1
SITE PLAN (1:200)	2
SITE PLAN (1:500)	3
LANDSCAPE PLAN	4
SOIL & WATER MANAGEMENT PLAN	5
GROUND FLOOR PLAN	6
ELEVATIONS / SECTION	7
ELEVATIONS	8
ELEVATION - STREET VIEWS	9
ELEVATIONS SHOW AT CUT&FILL	10
ELEVATIONS SHOW AT CUT&FILL	11
WINDOW & DOOR SCHEDULES	12
ROOF DRAINAGE PLAN	13
FLOOR COVERINGS	14
KITCHEN DETAILS	15
BUTLER'S PANTRY DETAILS	16
BATHROOM DETAILS	17
ENSUITE DETAILS	18
LAUNDRY DETAILS	19

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S): 2595mm
 (CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)
 ROOF PITCH (U.N.O.): 23.0°
 ELECTRICITY SUPPLY: SINGLE PHASE
 GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL
 ROOF COLOUR: N/A

WALL MATERIAL: BRICK VENEER, CLADDING

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

MIN. 60mm FOIL FACED BLANKET UNDER ROOFING
 CEILING: R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)

EXTERIOR WALLS: R2.0 BATTS (EXCL. GARAGE)
 WALL WRAP TO ENTIRE HOUSE
 INTERIOR WALLS: R2.0 BATTS WHERE SHOWN ON PLANS AND WHERE ADJACENT TO GARAGE / SUBFLOOR / ROOF SPACES / SKYLIGHTS

BIAX SLAB
 FLOOR INSULATION: R2.0 BATTS TO FLOOR SPACES ABOVE PORCH /ALFRESCO / GARAGE AREAS, IF APPLICABLE

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N3
 CLIMATE ZONE: ZONE 7 - COOL TEMPERATE
 WIND REGION: A
 TERRAIN CATEGORY: TC2
 SHIELDING FACTOR: PS - PARTIAL SHIELDING
 TOPOGRAPHIC CLASSIFICATION: T3
 DESIGN WIND SPEED: 50 m/sec

SITE CLASSIFICATION: S
 SLAB CLASSIFICATION: TBC

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

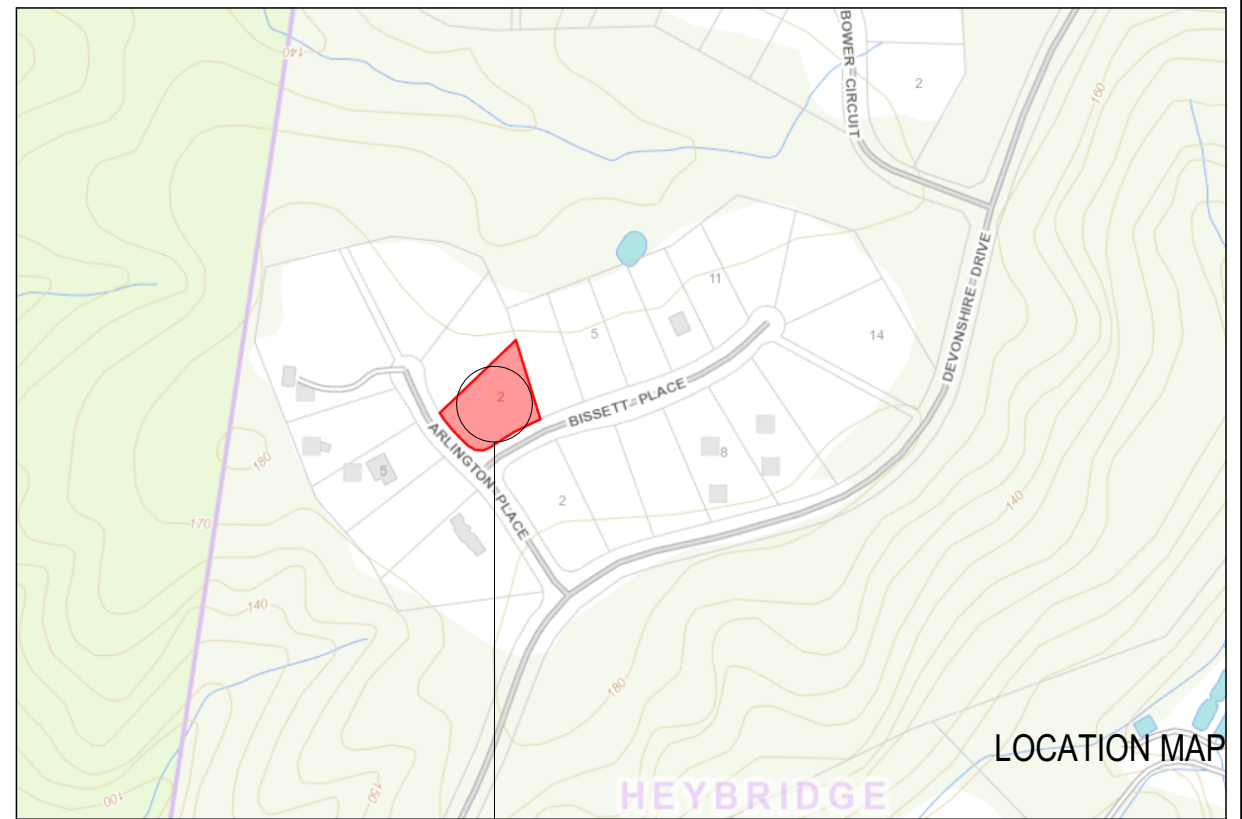
BAL-12.5 BUSHFIRE REQUIREMENTS

THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8).

- PROVIDE FOIL FACED BLANKET INSULATION TO COLORBOND SHEET ROOFING
- PROVIDE SARKING TO TILED ROOF WITH PRESTITE TO VALLEYS
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD/FRENCH/SLIDING/STACKER DOORS)
- PROVIDE BAL-12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING/STACKER DOORS
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS TO FIXED PANELS
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS
- PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK
- PROVIDE SEAL TO GARAGE DOOR
- EXTERNAL TIMBER POSTS TO BE FIRE RETARDANT
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE

(IF REQUIRED)

- PROVIDE MERBAU TIMBER POSTS AND EXPOSED BEAMS TO PATIO
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH AND DIAMOND GRILLE TO EXTERNAL HUNG DOORS

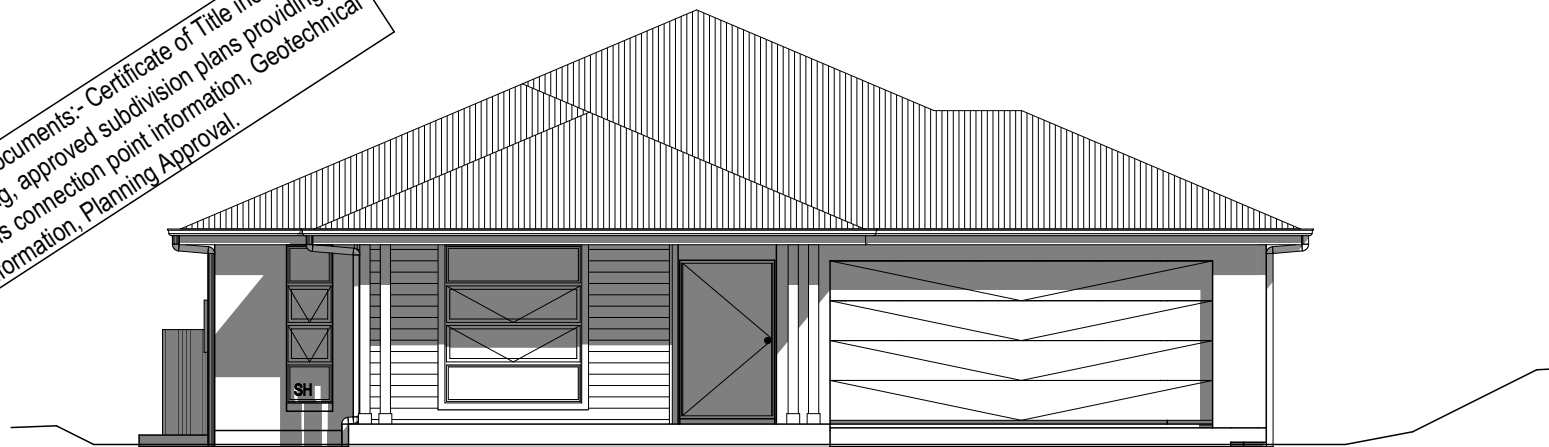


SITE LOCATION

ON SITE WASTEWATER TREATMENT REQUIRED. REFER TO REPORT PREPARED BY GES (TBC)

ON SITE STORMWATER MANAGEMENT. REFER TO REPORT PREPARED BY GES/FLUSSIG (TBC)

This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.



PRELIMINARY PLAN SET

No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK
6	PRELIMINARY PLANS- UPDATE - RFI- OVERALL HEIGHT REDUCE	ALL	2024.10.18	RT2	-
5	PRELIMINARY PLAN SET - PLANNING RFI (26/09/2024)	ALL	2024.10.16	HMI	-
4	PRELIMINARY PLAN SET - PLANNING RFI (24/09/2024)	7	2024.09.24	HMI	-
3	PRELIMINARY PLAN SET - RESITE	ALL	2024.08.09	HMI	-
2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2024.07.10	HMI	DKZ

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: _____ DATE: _____

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: _____

DATE: _____

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3 PRELIM PLANS - RESITE	HMI 2024.08.09
4 PRELIM PLAN - PLANNING RFI (24/09/224)	HMI 2024.09.24
5 PRELIM PLAN - PLANNING RFI (26/04/24)	HMI 2024.10.16
6 PRELIM PLANS UPDATE- RFI UPDATE	RT2 2024.10.18

CLIENT: MATT HARVEY & SHERIDAN BARRETT
 ADDRESS: 2 ARLINGTON PLACE, HEYBRIDGE TAS 7316
 LOT / SECTION / CT: 71 / - / 160925
 COUNCIL: BURNIE COUNCIL

HOUSE DESIGN: BELVEDERE
 FACADE DESIGN: HAVEN
 SHEET TITLE: COVER SHEET

HOUSE CODE: H-WATBVR10SB
 FACADE CODE: F-WATBVR10HAVNC
 SCALES: 1 / 19

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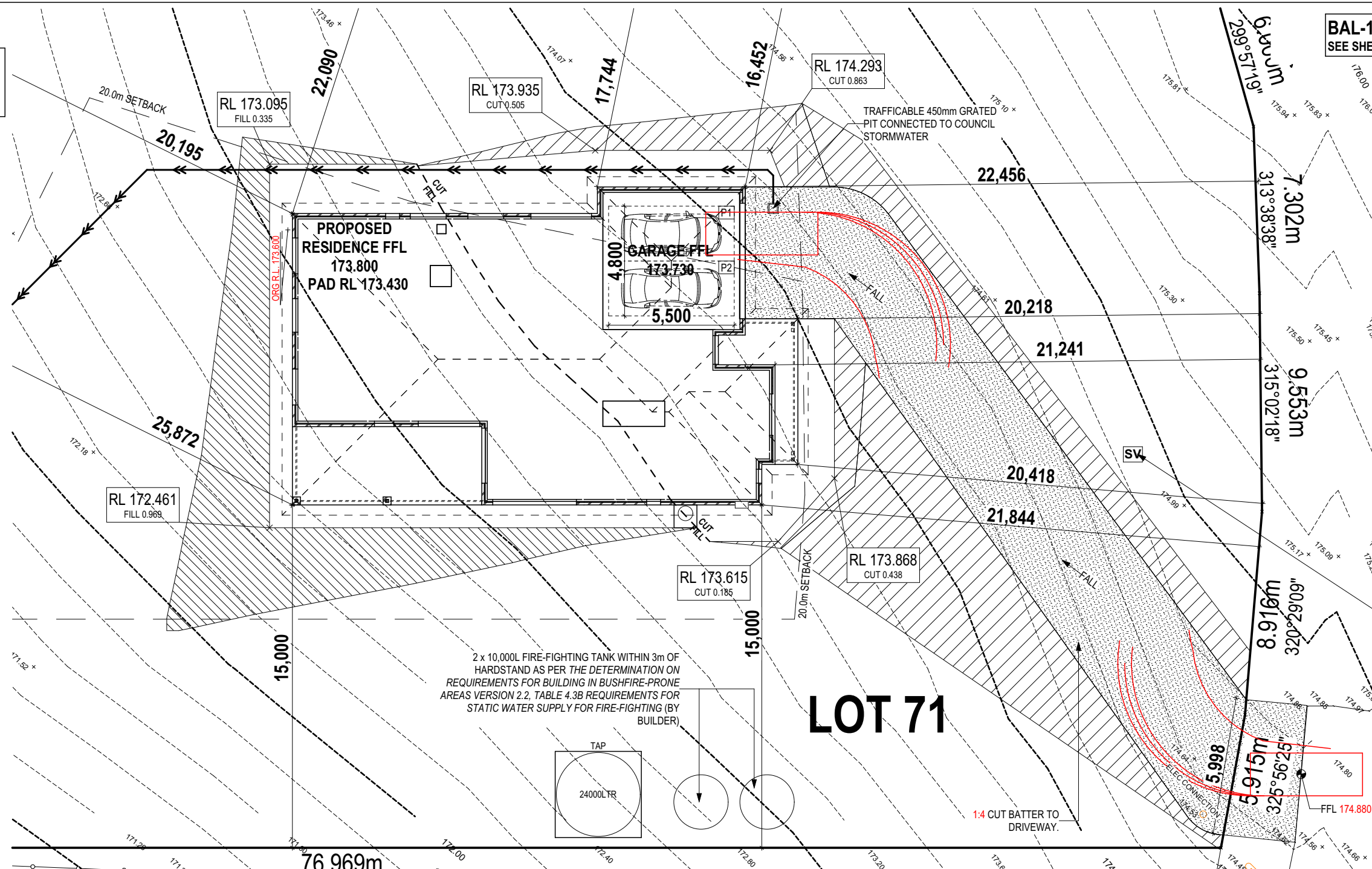
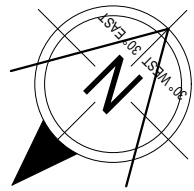
ZONE: LANDSCAPE CONSERVATION
1.9km DISTANCE FROM WIVENHOE

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N3
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	81.17m ³
FILL VOLUME	87.21m ³
DIFFERENCE	6.04m ³
TONNAGE: 6.04m ³ x 2.25 = 13.59t 14 TONNES OF IMPORT FILL	

LOT SIZE: 3119m²
HOUSE (COVERED AREA): 276.17m²
SITE COVERAGE: 8.85%

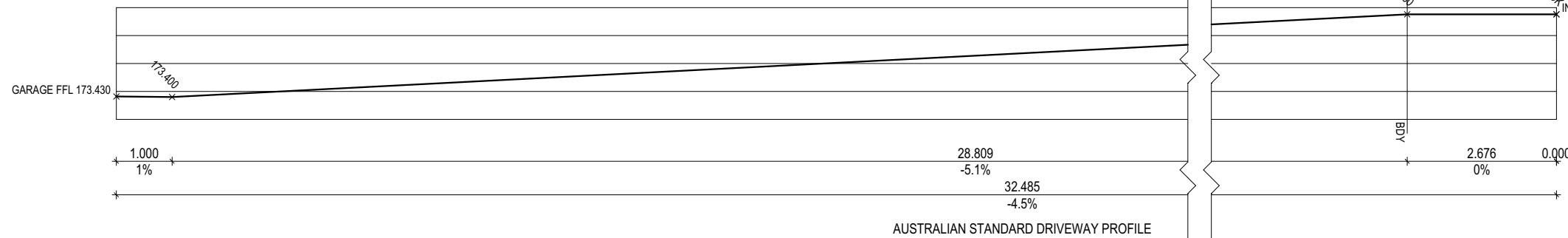


BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

ARLINGTON PLACE

STORZ VALVE REMOTE OFFTAKE FOR FIRE FIGHTING. TO BE INSTALLED 450 - 600mm ABOVE GROUND LEVEL IN ACCORDANCE WITH THE DETERMINATION ON REQUIREMENTS FOR BUILDING IN BUSHFIRE-PRONE AREAS VERSION 2.2, TABLE 4.3B, C.

APPROX. FCR. DRIVEWAY BY OWNERS LICENCED CONTRACTOR
164m² TOTAL
(164m² TO BDY)



DRIVEWAY DETAILS
Scale: 1:100

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ADDRESS:	2 ARLINGTON PLACE, HEYBRIDGE TAS 7316
LOT / SECTION / CT:	71 / - / 160925
COUNCIL:	BURNIE COUNCIL

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	SITE PLAN (1:200)
SHEET No.:	2 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:200, 1:100

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ZONE: LANDSCAPE CONSERVATION
1.9km DISTANCE FROM WIVENHOE

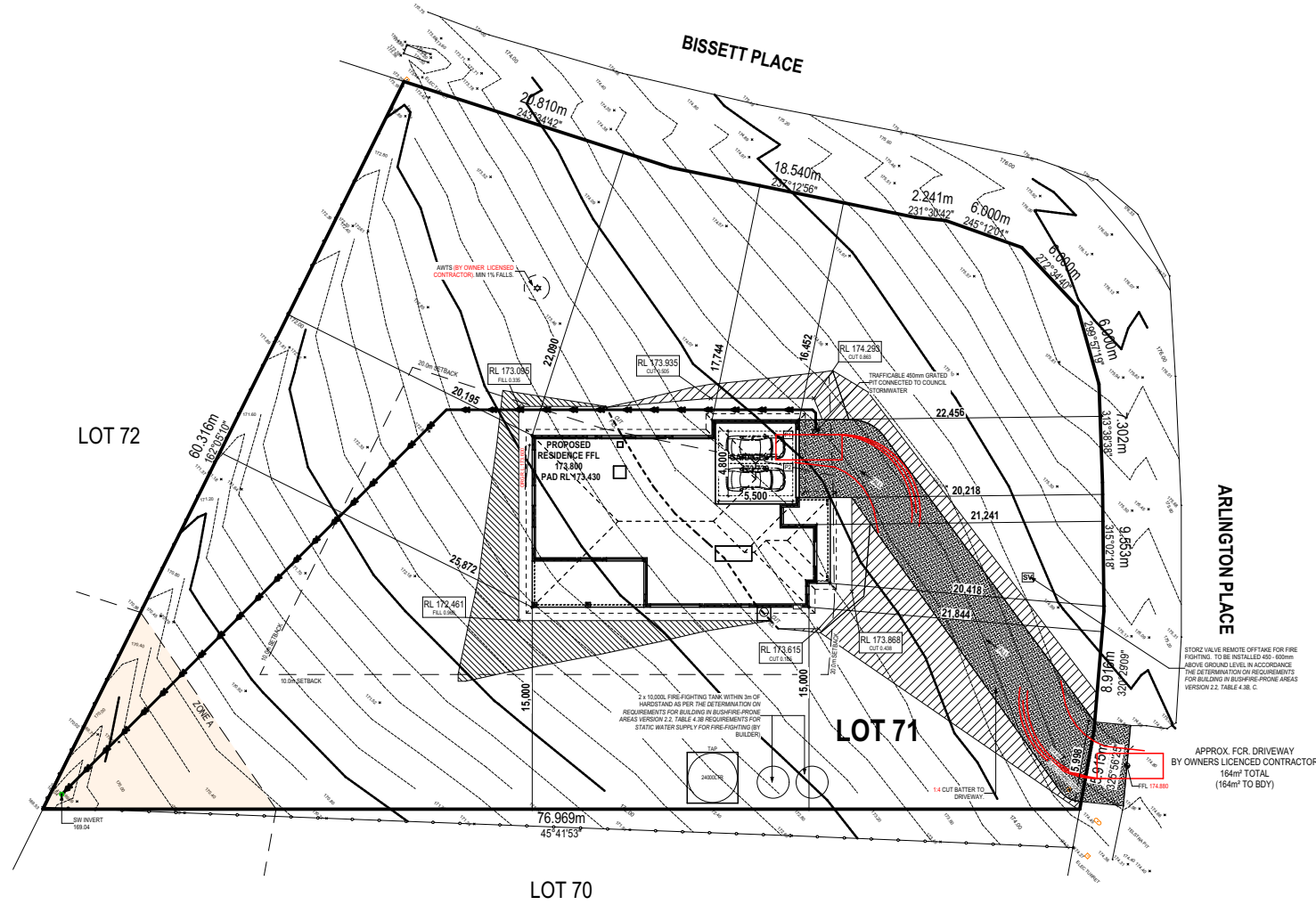
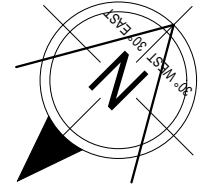
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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N3
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	81.17m ³
FILL VOLUME	87.21m ³
DIFFERENCE	6.04m ³
TONNAGE: 6.04m ³ x 2.25 = 13.59t 14 TONNES OF IMPORT FILL	

LOT SIZE: 3119m²
HOUSE (COVERED AREA): 276.17m²
SITE COVERAGE: 8.85%

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



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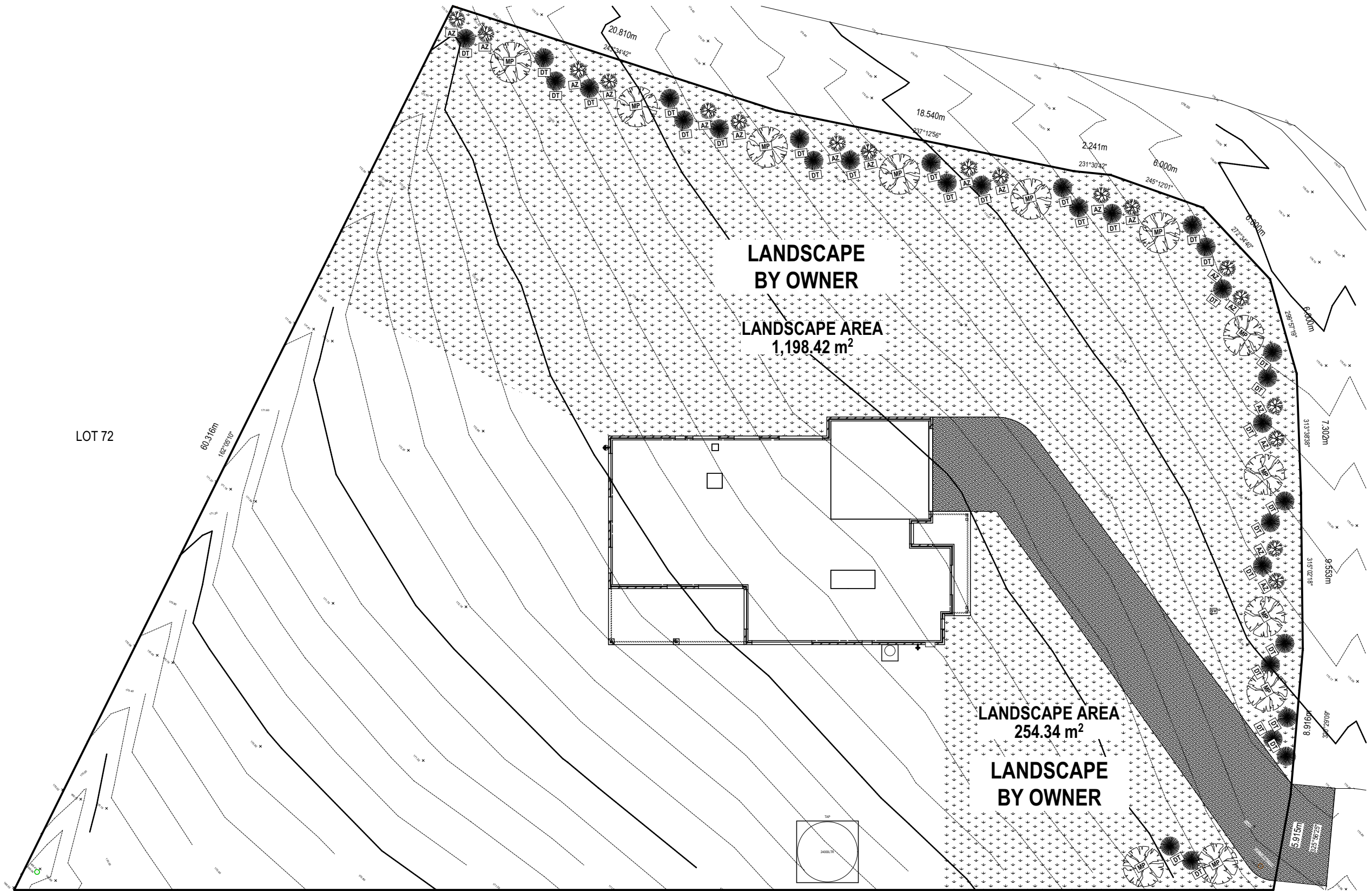
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HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	SITE PLAN (1:500)
SHEET No.:	3 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:500

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LEGEND		
	SMALL PLANT OR GRASS ANGOZANTHOS 'ORANGE CROSS' 2m MAXIMUM HEIGHT	
	SMALL - MEDIUM SIZED SHRUB PHORBULUM / ALIKE 1.2m MAXIMUM HEIGHT	
	SMALL PLANT OR GRASS DANIELLA TASMANICA 2m MAXIMUM HEIGHT	
	MEDIUM PLANT CALLISTEMON SUBULATUS 3m MAXIMUM HEIGHT	
	LARGE TREE MEALEUCA PALLIDA 8m MAXIMUM HEIGHT	

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LOT / SECTION / CT: 71 / - / 160925
COUNCIL: BURNIE COUNCIL

HOUSE DESIGN: BELVEDERE
FACADE DESIGN: HAVEN
SHEET TITLE: LANDSCAPE PLAN

HOUSE CODE: H-WATBVR10SB
FACADE CODE: F-WATBVR10HAVNC
SHEET No.: 1 / 1
SCALES: 1:250

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ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

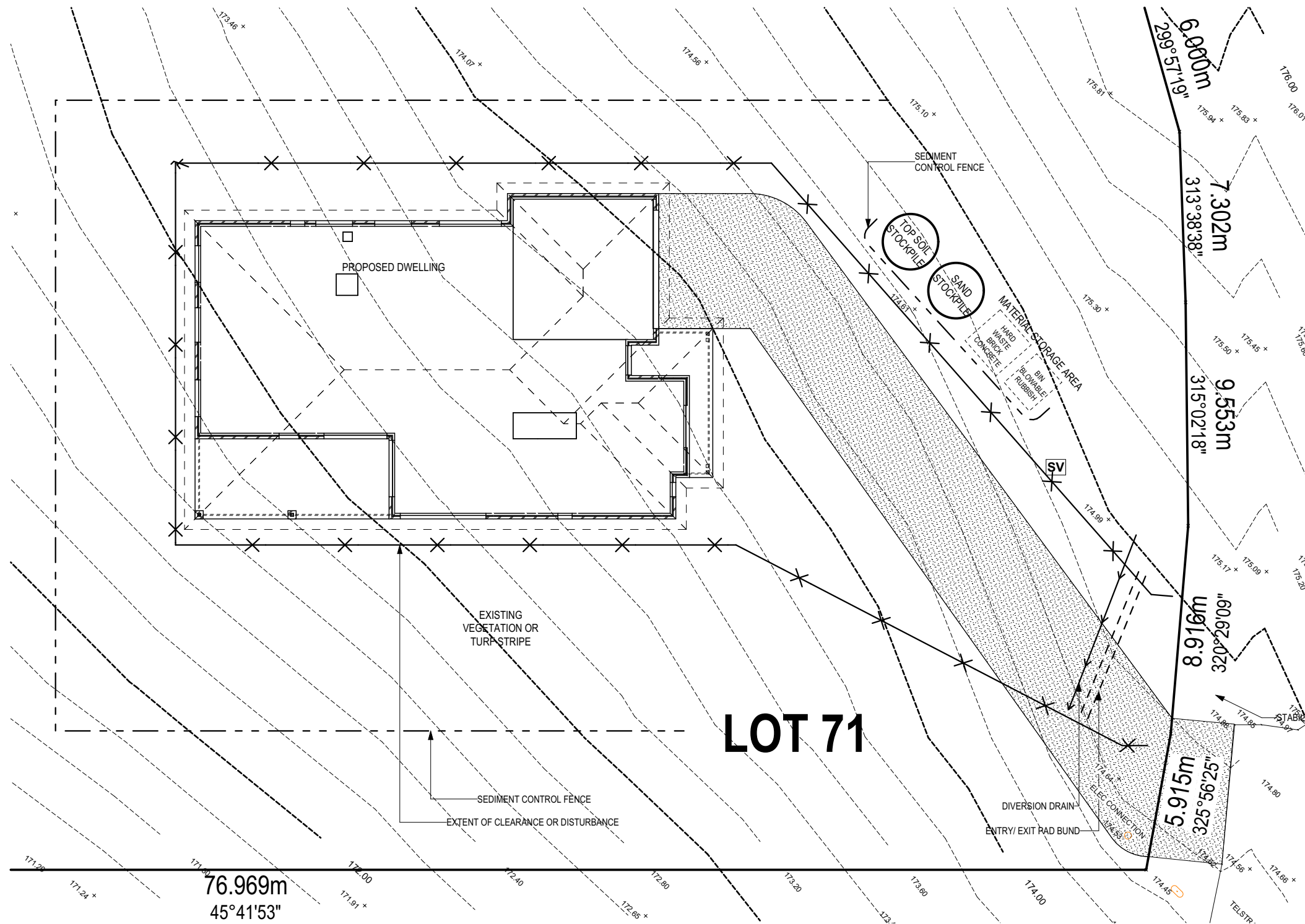
OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

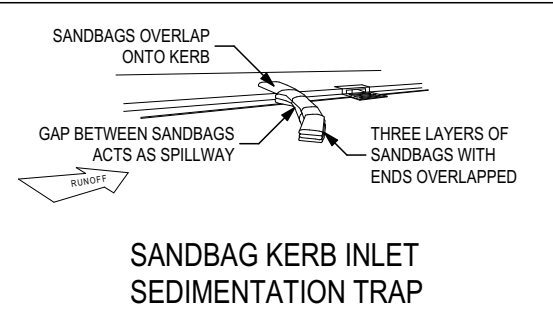
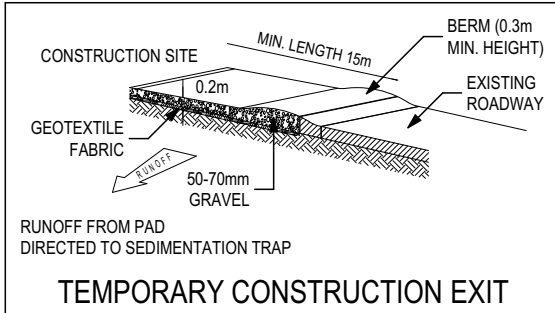
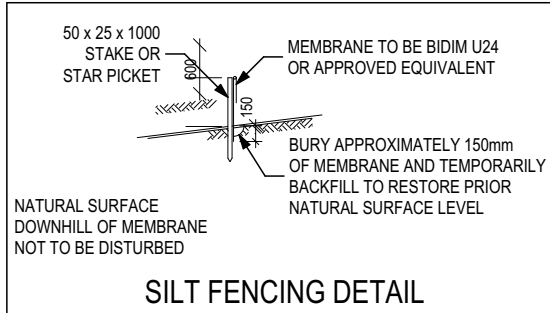
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ARLINGTON PLACE

LOT 71

APPROX. FCR. DRIVEWAY
BY OWNERS LICENCED CONTRACTOR
164m² TOTAL
(164m² TO BDY)



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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6 PRELIM PLANS UPDATE- RFI UPDATE	RT2 2024.10.18

CLIENT:	MATT HARVEY & SHERIDAN BARRETT
ADDRESS:	2 ARLINGTON PLACE, HEYBRIDGE TAS 7316
LOT / SECTION / CT:	71 / - / 160925
COUNCIL:	BURNIE COUNCIL

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	SOIL & WATER MANAGEMENT PLAN
SHEET No.:	5 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:200

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

BAL-12.5 BUSHFIRE REQUIREMENTS
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

TOTAL FLOOR AREAS

ALFRESCO GRANDE	28.39
GARAGE	40.43
LIVING	196.83
PORCH	10.52
TOTAL	276.17 m²

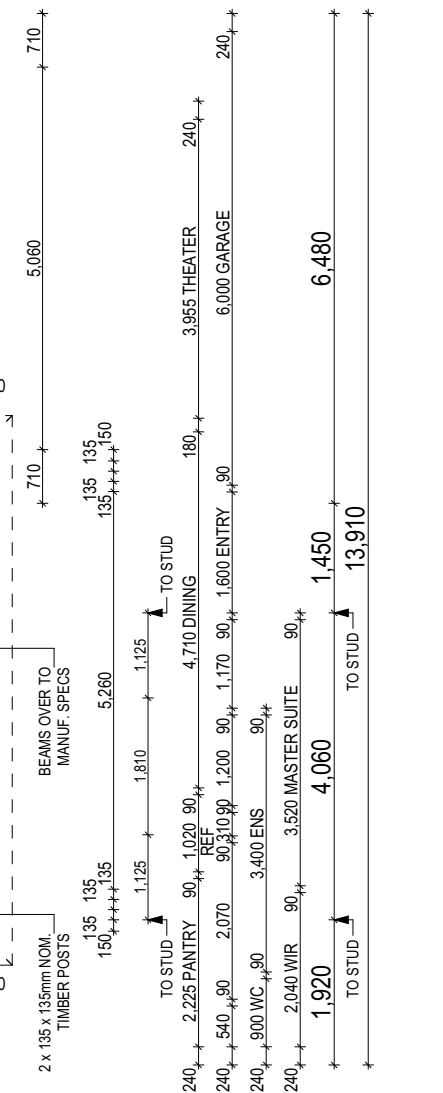
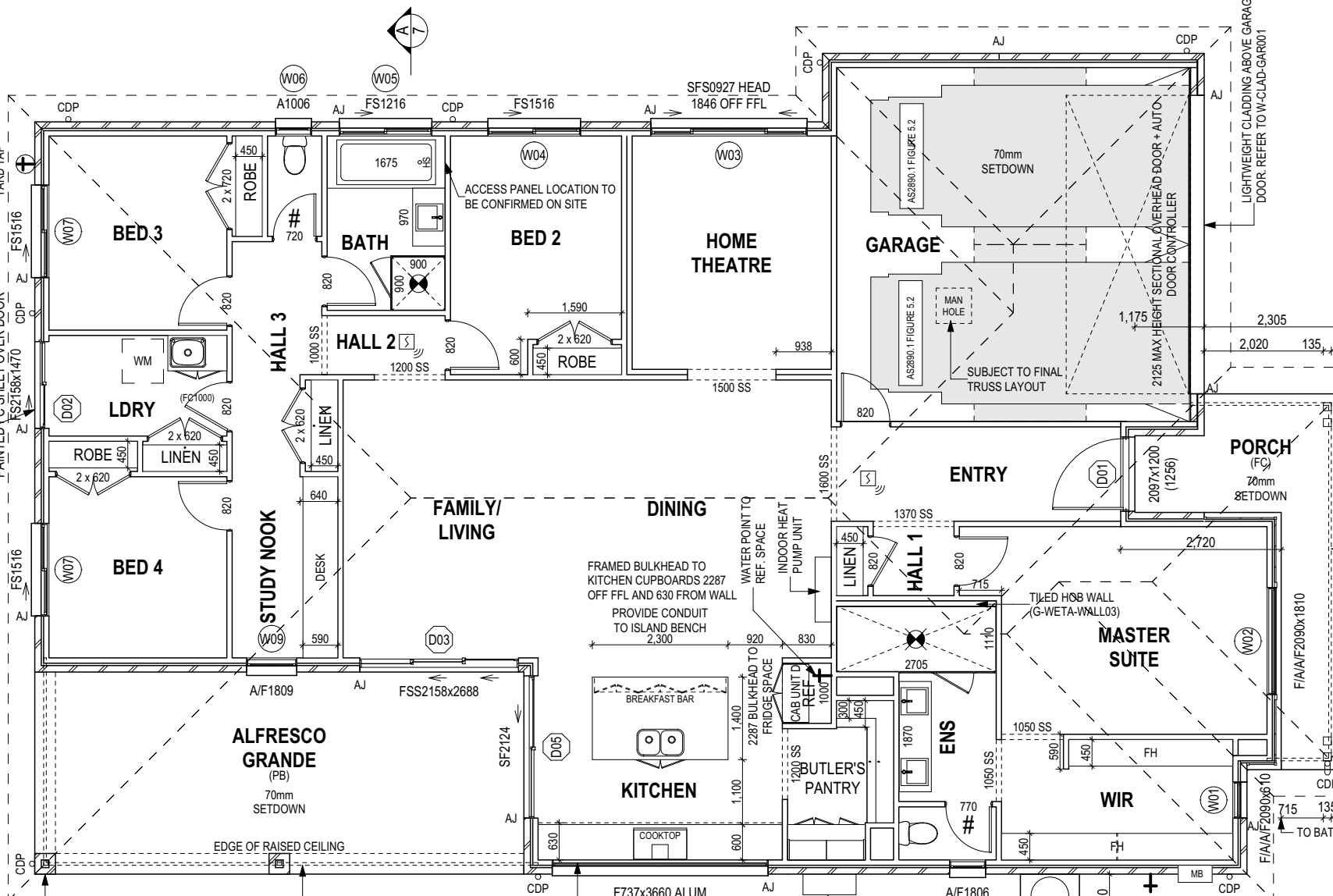
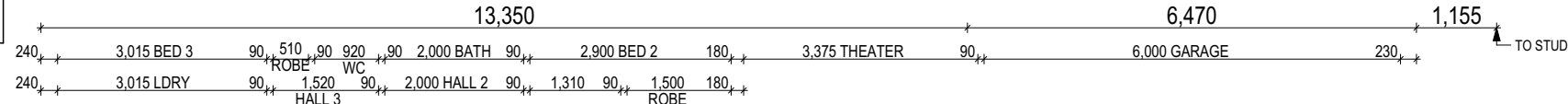
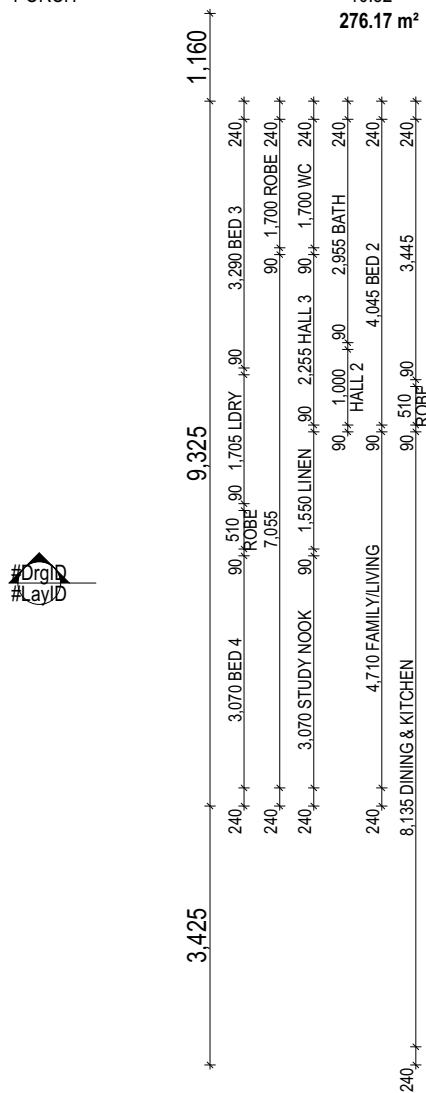
REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' AND W-BRIC-001 FOR BRICK COURSING & WINDOW FLASHING DETAILS.

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- RENDER
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- # LIFT OFF HINGE
- WATER POINT
- FLOOR WASTE
- CLEAN OUT POINT
- GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

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SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm
"MEDIUM"	800 x 380mm	878mm
"LARGE"	1500 x 380mm	1578mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

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6 PRELIM PLANS UPDATE- RFI UPDATE	RT2 2024.10.18

CLIENT:	MATT HARVEY & SHERIDAN BARRETT
ADDRESS:	2 ARLINGTON PLACE, HEYBRIDGE TAS 7316
LOT / SECTION / CT:	71 / - / 160925
COUNCIL:	BURNIE COUNCIL

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	GROUND FLOOR PLAN
SHEET No.:	6 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:100

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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

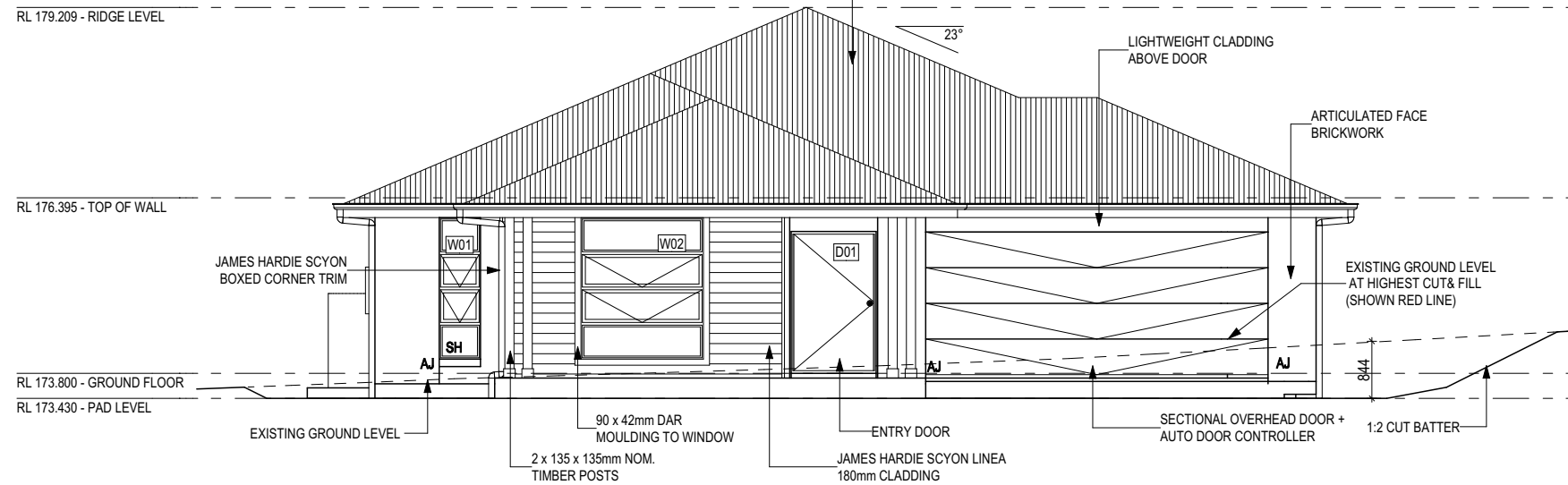
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SH = SNAP HEADER SILL

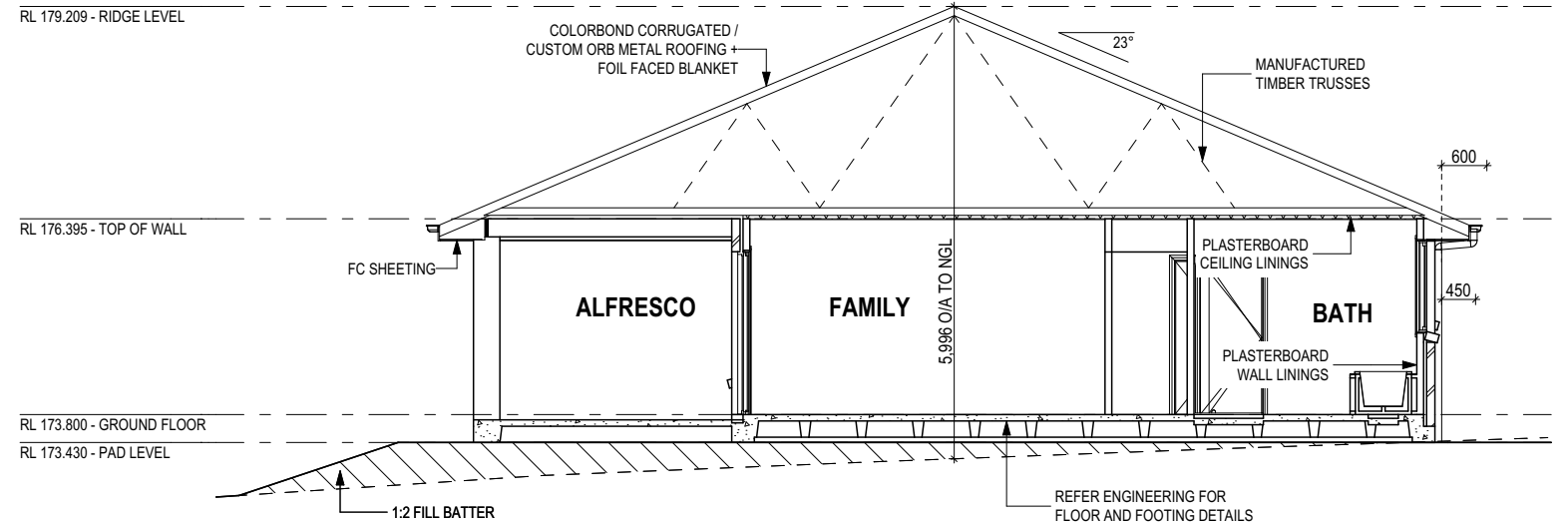
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

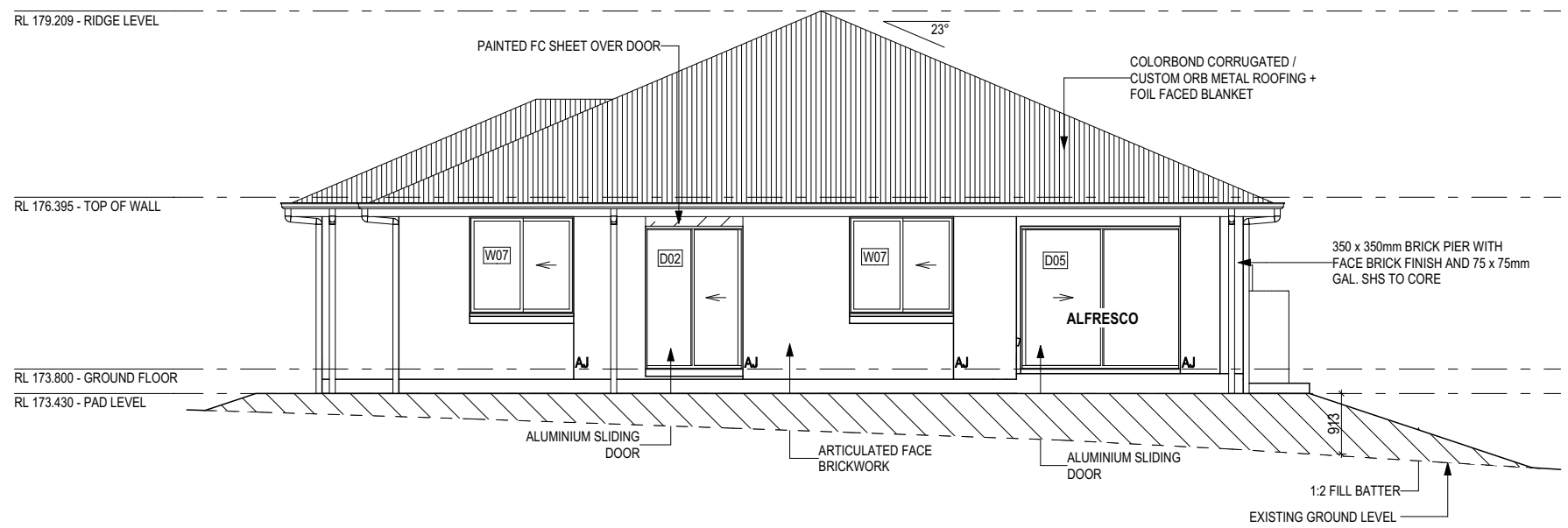
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRICK-001



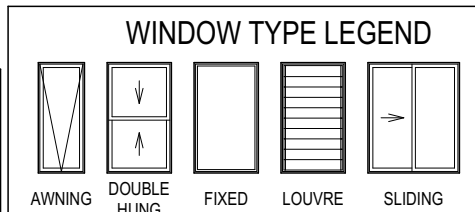
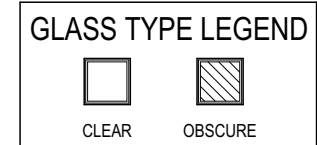
SOUTH WEST ELEVATION
Scale: 1:100



SECTION A-A
Scale: 1:100



NORTH EAST ELEVATION
Scale: 1:100



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BURNIE COUNCIL

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BELVEDERE
FACADE DESIGN:
HAVEN
SHEET TITLE:
ELEVATIONS / SECTION

HOUSE CODE:
H-WATBVR10SB
FACADE CODE:
F-WATBVR10HAVNC
SHEET No.:
7 / 19
SCALES:
1:100

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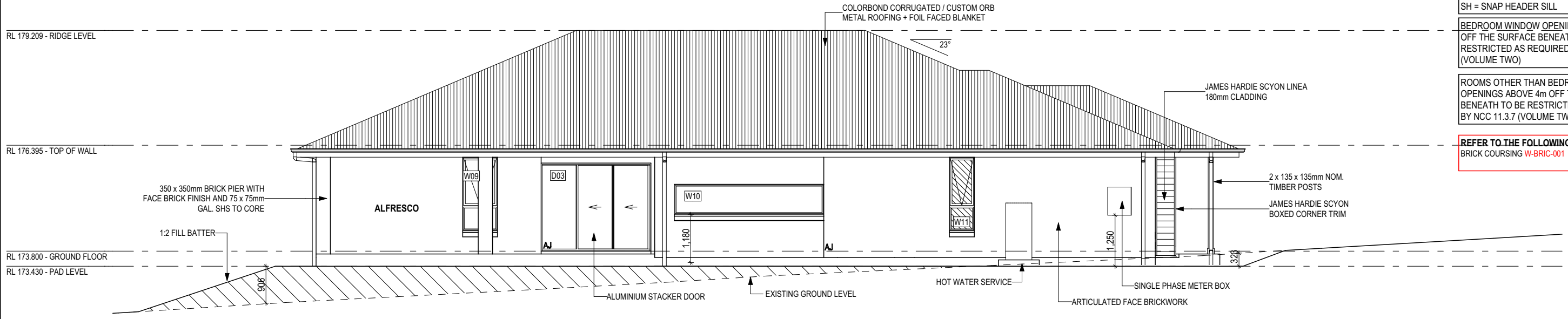
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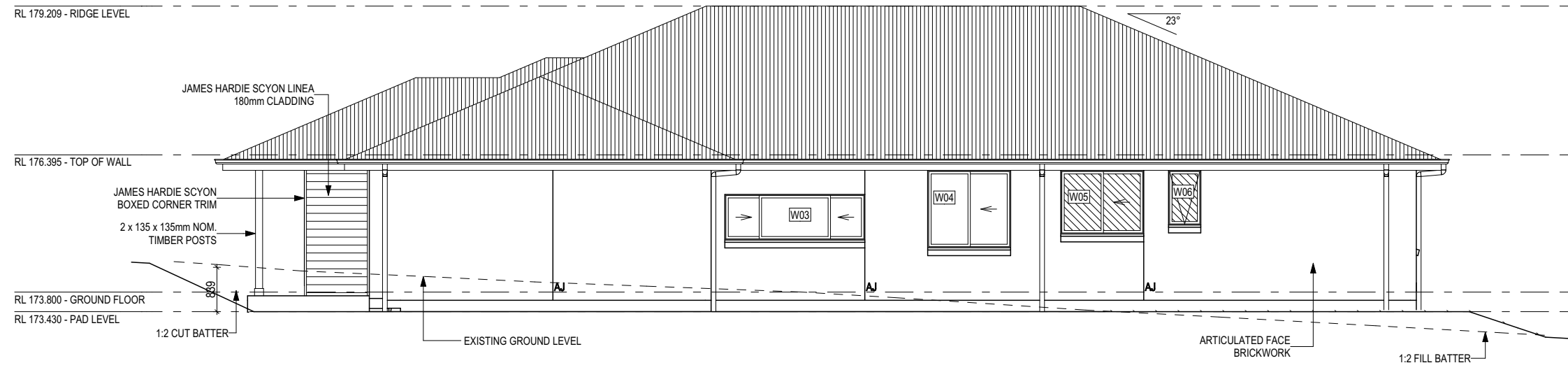
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REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BR1C-001



NORTH WEST ELEVATION
Scale: 1:100



SOUTH EAST ELEVATION
Scale: 1:100

GLASS TYPE LEGEND

CLEAR

OBSCURE

WINDOW TYPE LEGEND

AWNING

DOUBLE HUNG

FIXED

LOUVRE

SLIDING

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FACADE DESIGN:
HAVEN

SHEET TITLE:
ELEVATIONS

HOUSE CODE:
H-WATBVR10SB

FACADE CODE:
F-WATBVR10HAVNC

SHEET No.:
8 / 19

SCALES:
1:100

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ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

RL 179.209 - RIDGE LEVEL

RL 176.395 - TOP OF WALL

RL 173.800 - GROUND FLOOR

RL 173.430 - PAD LEVEL

6M MAXIMUM BUILDING HEIGHT FROM NGL.

23°

BISSETT PLACE STREET VIEW

Scale: 1:100

6M MAXIMUM BUILDING HEIGHT FROM NGL.

RL 179.209 - RIDGE LEVEL

RL 176.395 - TOP OF WALL

RL 173.800 - GROUND FLOOR

RL 173.430 - PAD LEVEL

ARLINGTON STREET VIEW

Scale: 1:100

GLASS TYPE LEGEND



CLEAR



OBSCURE



AWNING



DOUBLE HUNG



FIXED



LOUVRE



SLIDING

PE LEGEND

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LOT / SECTION / CT:	71 / - / 160925
COUNCIL:	BURNIE COUNCIL

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	ELEVATION - STREET VIEWS
SHEET No.:	9 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:100

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SEE SHEET 1 (COVER SHEET) FOR DETAILS

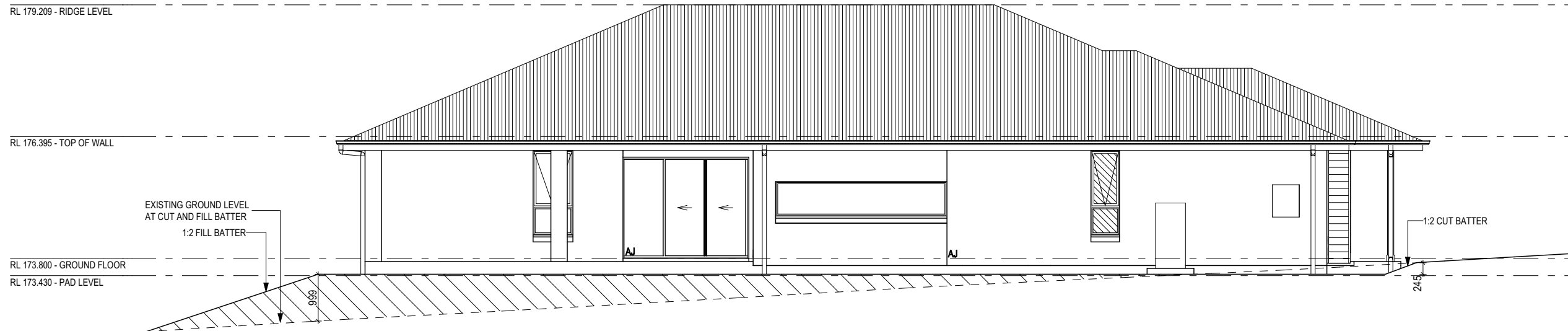
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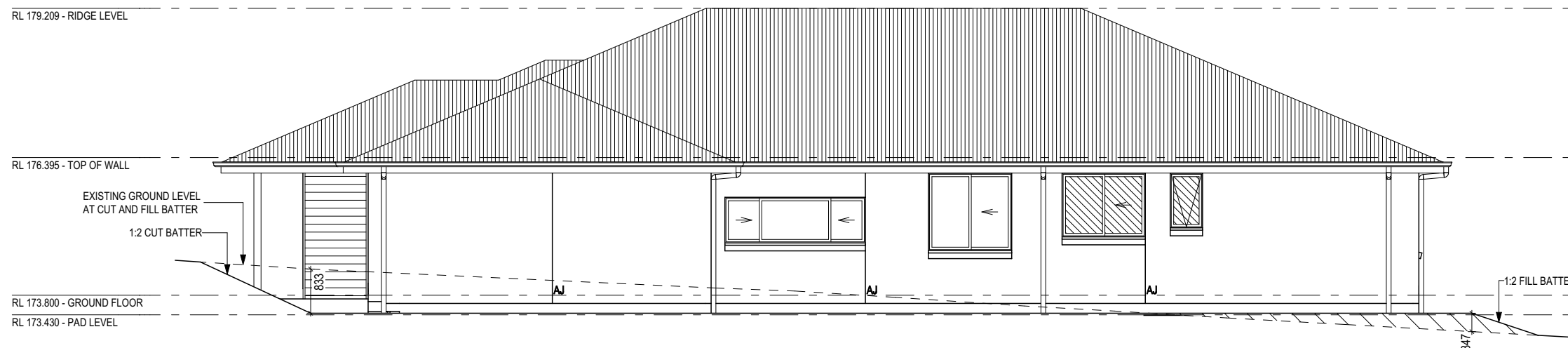
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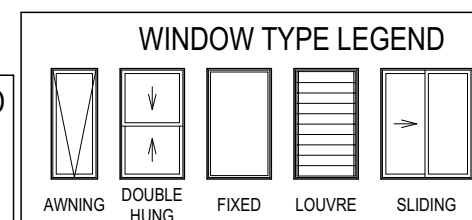
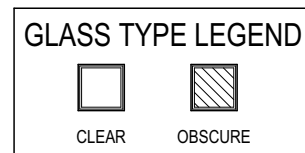
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BRICK COURSING W-BRIC-001



NORTH WEST ELEVATION
Scale: 1:100



SOUTH WEST ELEVATION
Scale: 1:100



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HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	ELEVATIONS SHOW AT CUT&FILL
SHEET No.:	10 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
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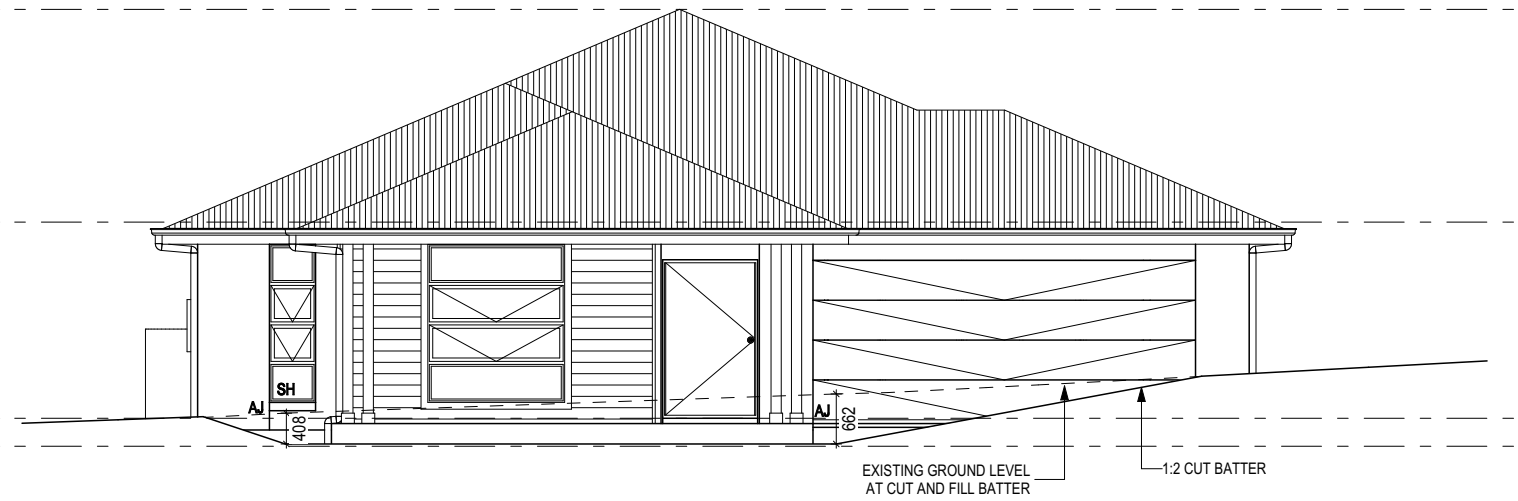
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

RL 179.209 - RIDGE LEVEL

RL 176.395 - TOP OF WALL

RL 173.800 - GROUND FLOOR

RL 173.430 - PAD LEVEL



SOUTH EAST ELEVATION

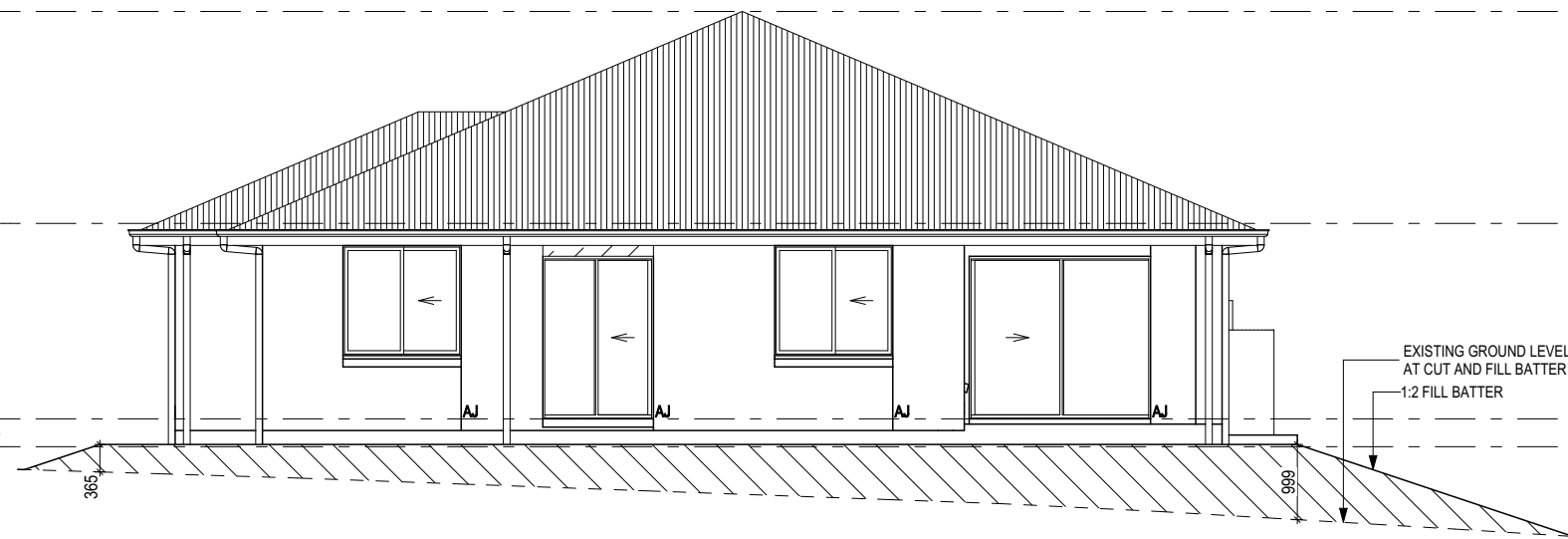
Scale: 1:100

RL 179.209 - RIDGE LEVEL

RL 176.395 - TOP OF WALL

RL 173.800 - GROUND FLOOR

RL 173.430 - PAD LEVEL



NORTH EAST ELEVATION

Scale: 1:100

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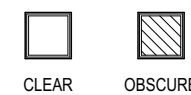
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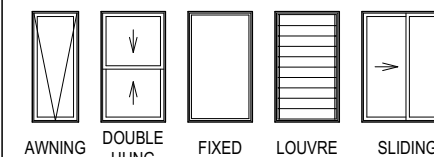
DATE:

GLASS TYPE LEGEND



CLEAR OBSCURE

WINDOW TYPE LEGEND



AWNING DOUBLE HUNG FIXED LOUVRE SLIDING

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SHEET TITLE:	ELEVATIONS SHOW AT CUT&FILL
SHEET No.:	11 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:100

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WINDOW SCHEDULE

0.3 ASSUME LOOKING FROM OUTSIDE 1.2 ASSUME LOOKING FROM INSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION¹
W01	F/A/A/F2090x610	---	2,090	610	5,400	1.27	ALUMINIUM	BAL-12.5	SNAP HEADER	SW	0.87	CLEAR, DOUBLE GLAZED	BP 523/1045/1568
W02	F/A/A/F2090x1810	---	2,090	1,810	7,800	3.78	ALUMINIUM	BAL-12.5	NONE	SW	2.89	CLEAR, DOUBLE GLAZED	BP 523/1045/1568
W03	SFS0927	---	860	2,650	7,020	2.28	ALUMINIUM	BAL-12.5	ANGLED	SE	1.97	CLEAR, DOUBLE GLAZED	
W04	FS1516	---	1,460	1,570	6,060	2.29	ALUMINIUM	BAL-12.5	ANGLED	SE	2.02	CLEAR, DOUBLE GLAZED	
W05	FS1216	---	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-12.5	ANGLED	SE	1.64	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W06	A1006	---	1,030	610	3,280	0.63	ALUMINIUM	BAL-12.5	ANGLED	SE	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W07	FS1516	---	1,460	1,570	6,060	2.29	ALUMINIUM	BAL-12.5	ANGLED	NE	2.02	CLEAR, DOUBLE GLAZED	
W07	FS1516	---	1,460	1,570	6,060	2.29	ALUMINIUM	BAL-12.5	ANGLED	NE	2.02	CLEAR, DOUBLE GLAZED	
W09	A/F1809	---	1,800	850	5,300	1.53	ALUMINIUM	BAL-12.5	ANGLED	NW	1.19	CLEAR, DOUBLE GLAZED	BP 600
W10	F737x3660	---	737	3,660	8,794	2.70	ALUMINIUM	BAL-12.5	ANGLED	NW	2.39	CLEAR, TOUGHENED	
W11	A/F1806	---	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	ANGLED	NW	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600

22.04 18.25

NOTE:
Provide BAL-12.5 rated aluminium windows and external glass sliding doors in lieu of standard.
Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

EXTERIOR DOOR SCHEDULE

0.1 ASSUME LOOKING FROM OUTSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION¹
D01	2097x1200	---	2,097	1,256	2.63	ALUMINIUM	BAL-12.5	SNAP HEADER	SW	N/A	SWINGING	
D02	FS2158x1470	---	2,158	1,470	3.17	ALUMINIUM	BAL-12.5	SNAP HEADER	NE	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D03	FSS2158x2688	---	2,158	2,688	5.80	ALUMINIUM	BAL-12.5	SNAP HEADER	NW	CLEAR, DOUBLE GLAZED, TOUGHENED	STACKER	
D05	SF2124	---	2,158	2,410	5.20	ALUMINIUM	BAL-12.5	SNAP HEADER	NE	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	

16.80 m²

INTERIOR DOOR SCHEDULE

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
2	1050 SS	SQUARE SET OPENING	2,155	1,050	N/A	
2	1200 SS	SQUARE SET OPENING	2,155	1,200	N/A	
1	1370 SS	SQUARE SET OPENING	2,155	1,370	N/A	
1	1500 SS	SQUARE SET OPENING	2,155	1,500	N/A	
1	1600 SS	SQUARE SET OPENING	2,155	1,600	N/A	
4	2 x 620	SWINGING	2,040	1,240	N/A	
1	2 x 720	SWINGING	2,040	1,440	N/A	
1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
1	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
8	820	SWINGING	2,040	820	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY TYPE HEIGHT WIDTH AREA (m²)

SINGLE GLAZING U.N.O. REFER TO GENERAL NOTES FOR FURTHER DETAIL AND REQUIREMENTS.
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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6 PRELIM PLANS UPDATE- RFI UPDATE	RT2 2024.10.18

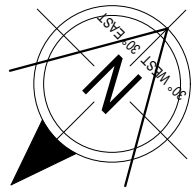
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MATT HARVEY & SHERIDAN BARRETT
ADDRESS:
2 ARLINGTON PLACE, HEYBRIDGE TAS 7316
LOT / SECTION / CT:
71 / - / 160925
COUNCIL:
BURNIE COUNCIL

HOUSE DESIGN:
BELVEDERE
FACADE DESIGN:
HAVEN
SHEET TITLE:
WINDOW & DOOR SCHEDULES

HOUSE CODE:
H-WATBVR10SB
FACADE CODE:
F-WATBVR10HAVNC
SHEET No.:
12 / 19

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#DrgID
#LayID

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

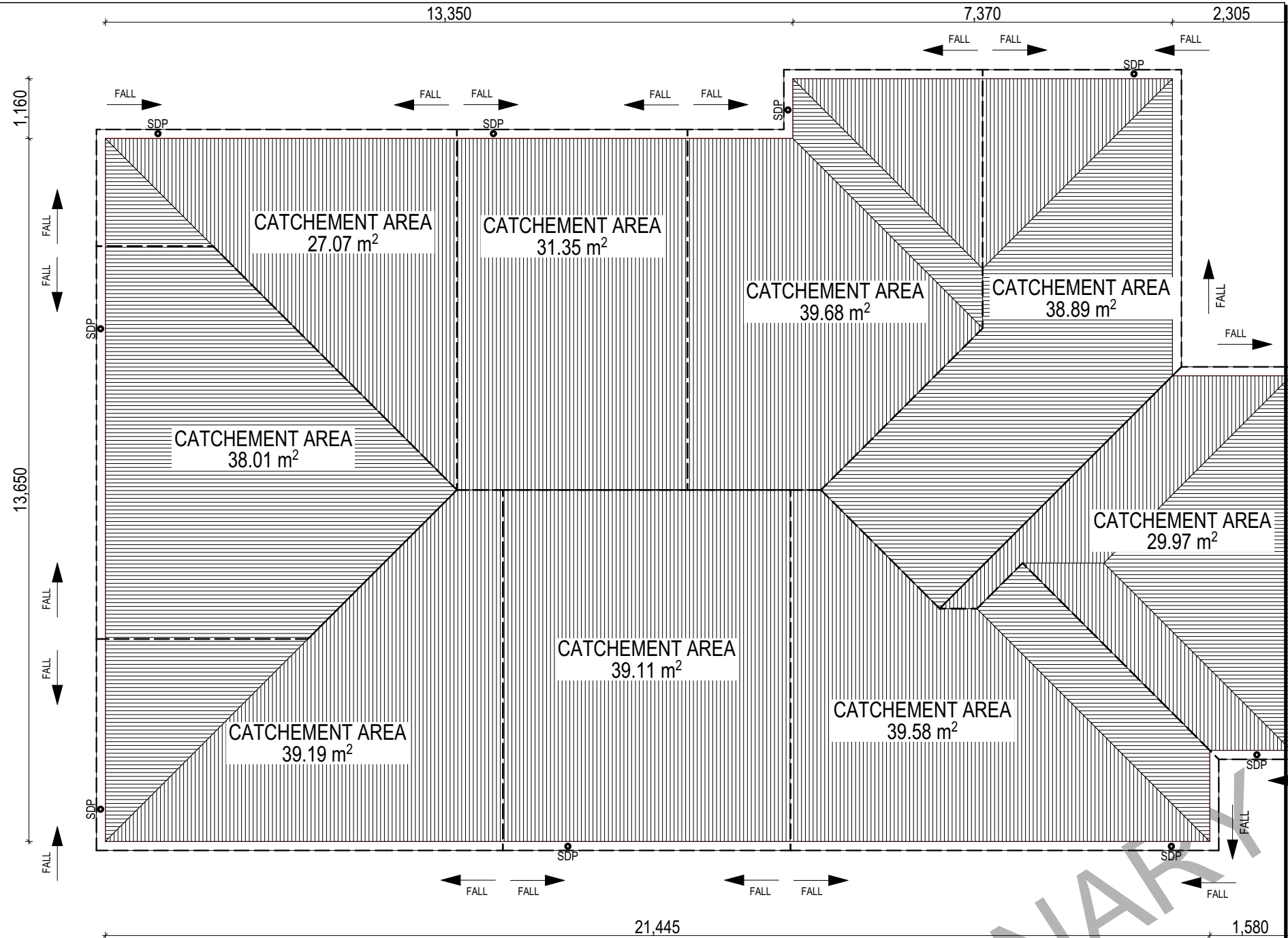
AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data

309.42	Flat Roof Area (excluding gutter and slope factor) (m ²)
336.12	Roof Surface Area (includes slope factor, excludes gutter) (m ²)

Downpipe roof calculations (as per AS/NZA3500.3:2021)

Ah	322.85	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	390.66	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	128	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	6.1	Ac / Acdp
Downpipes Provided	9	



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COUNCIL:	BURNIE COUNCIL

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	13 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:100







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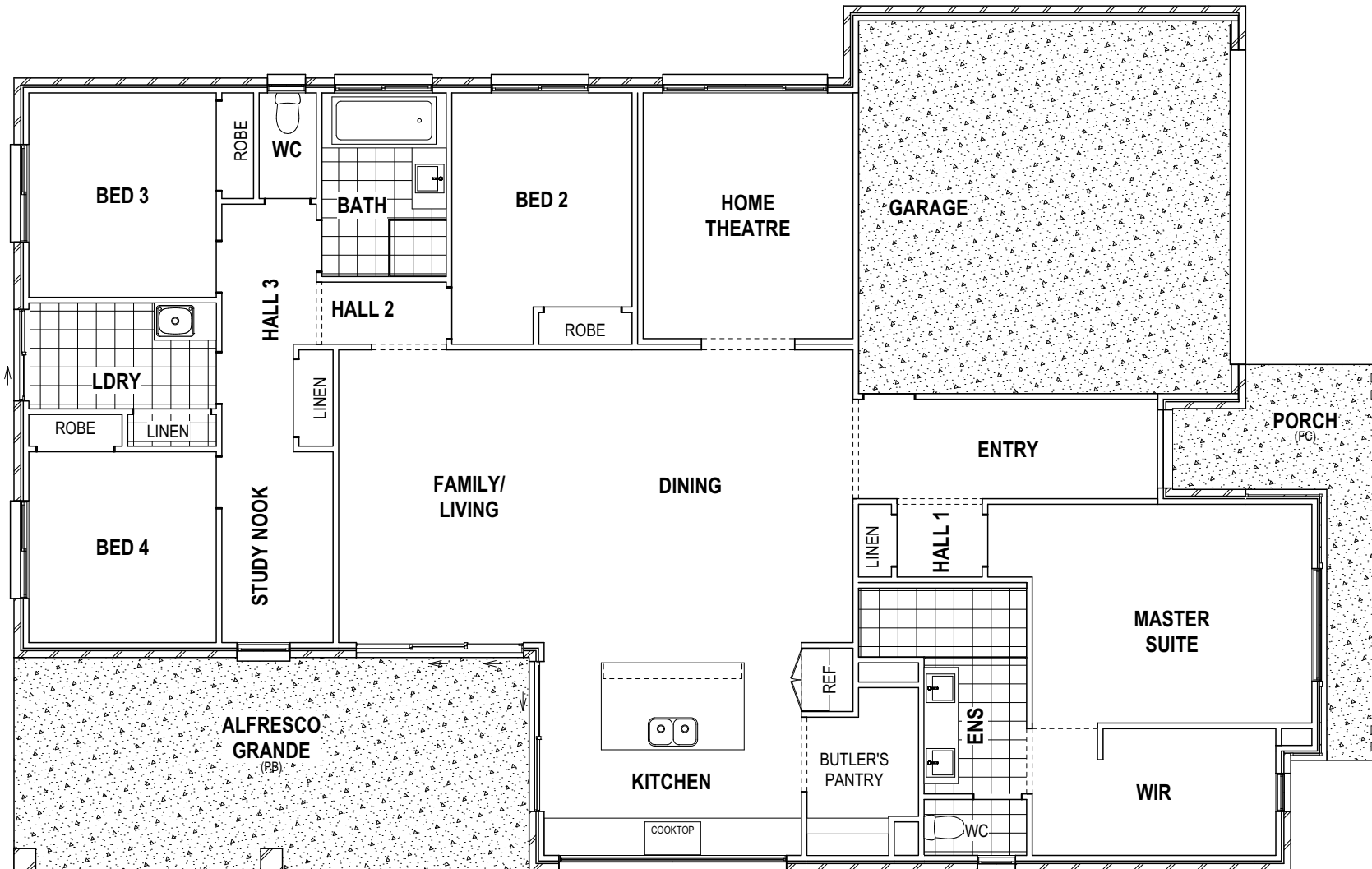
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET
-  LAMINATE
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)



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HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	FLOOR COVERINGS
SHEET No.:	14 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:100

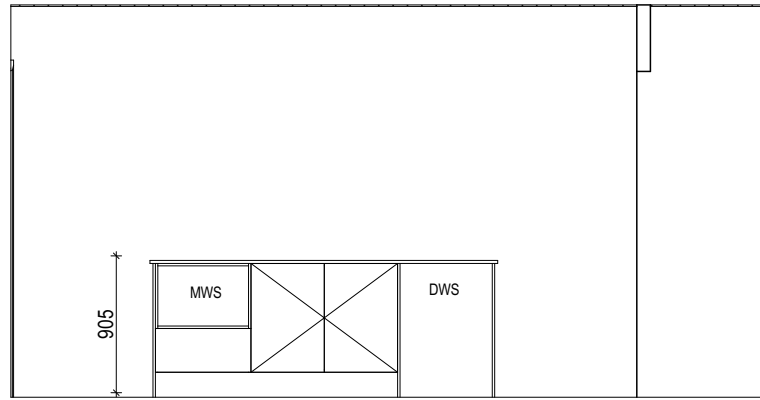
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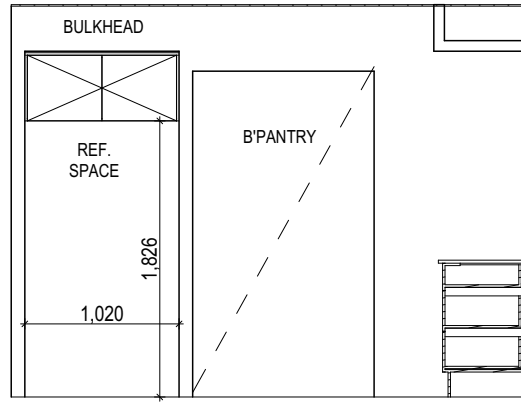
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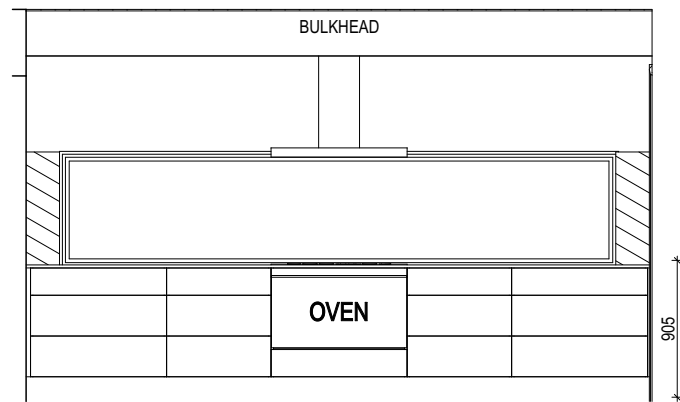
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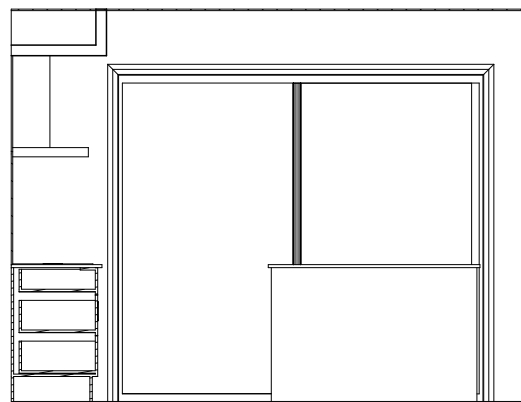
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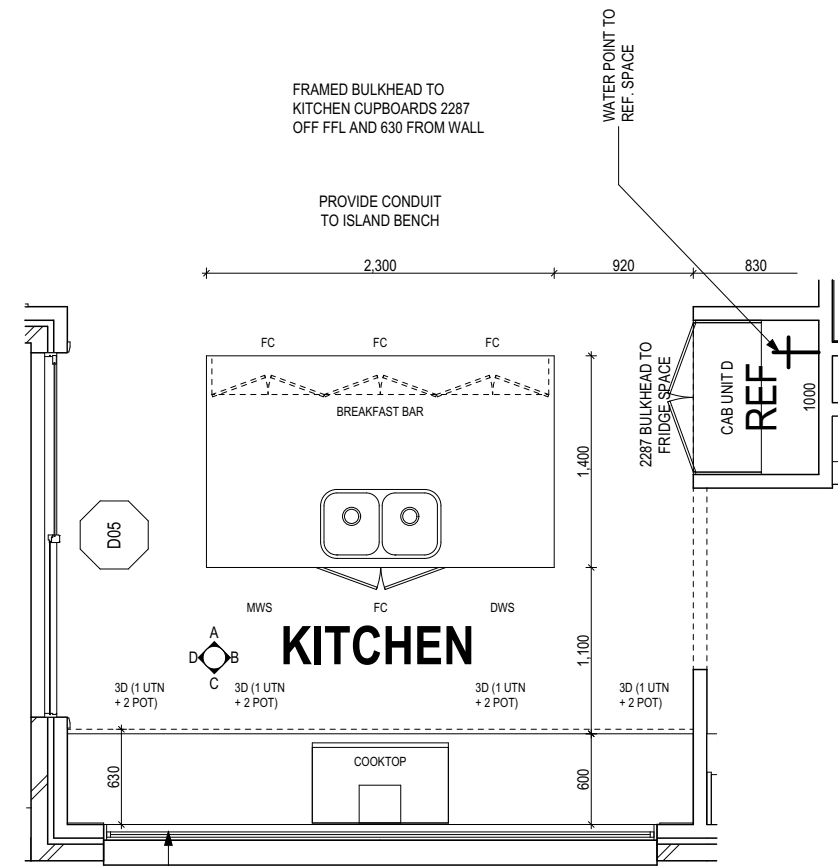
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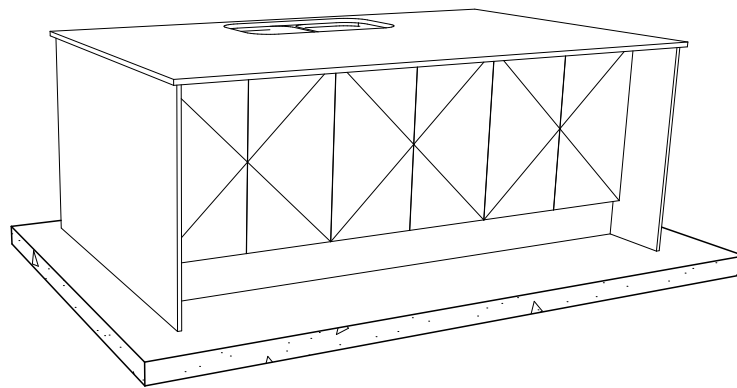
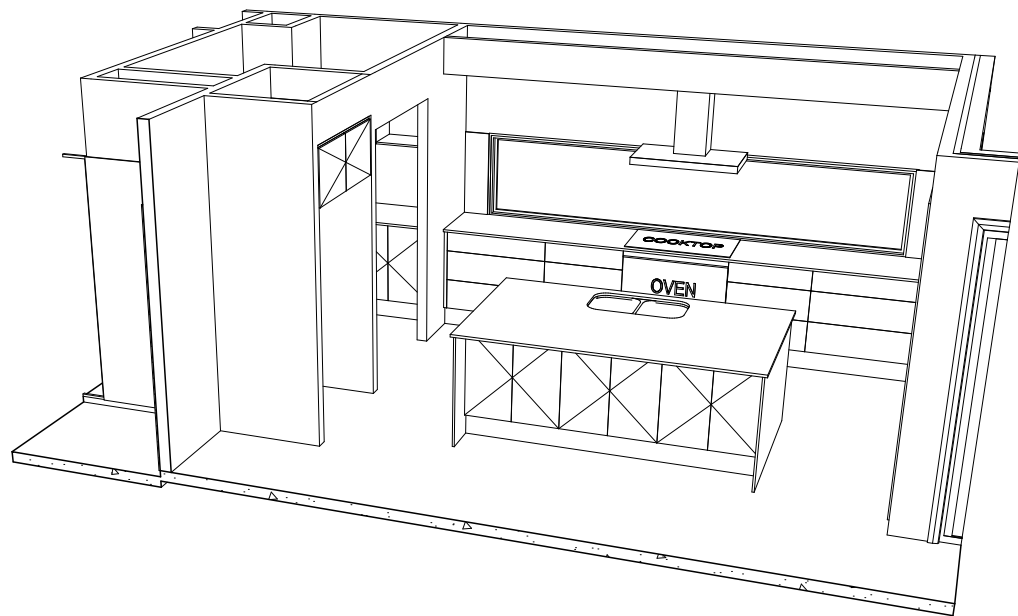
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ELEVATION D
Scale: 1:50



KITCHEN PLAN
Scale: 1:50



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COUNCIL:	BURNIE COUNCIL

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	KITCHEN DETAILS
SHEET No.:	15 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:50

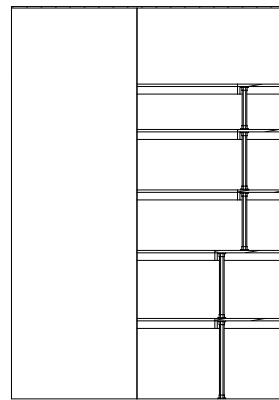
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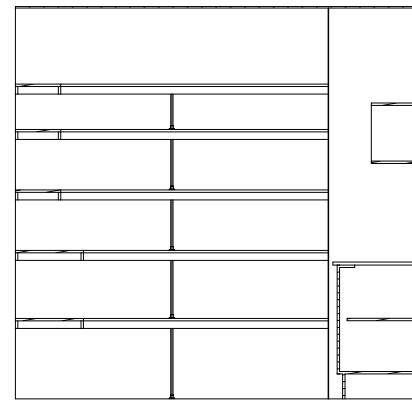
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- GENERAL BUILDING INFORMATION

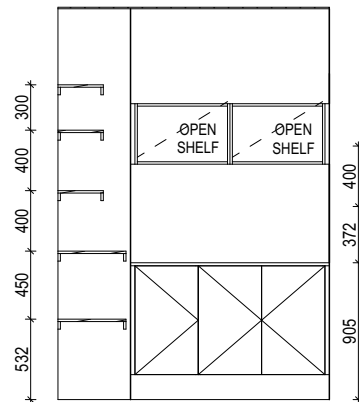
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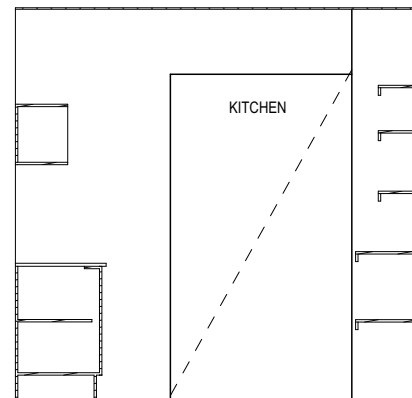
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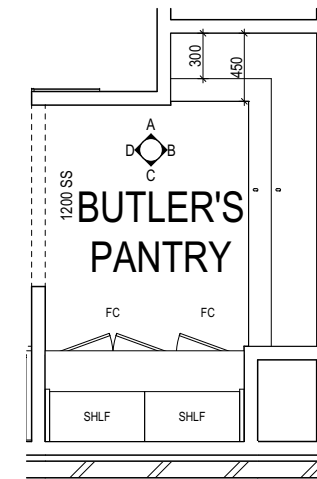
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



BUTLER'S PANTRY PLAN
Scale: 1:50

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FACADE DESIGN:	HAVEN
SHEET TITLE:	BUTLER'S PANTRY DETAILS
SHEET No.:	16 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
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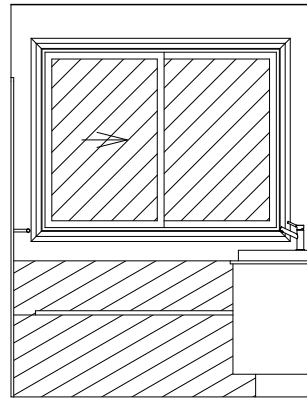
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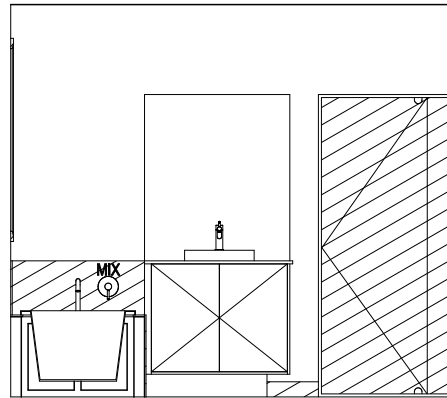
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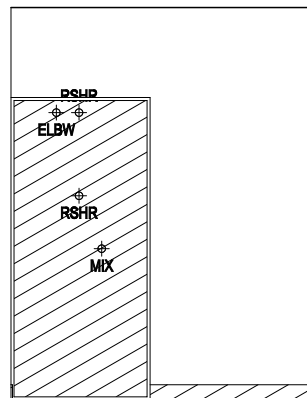
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA



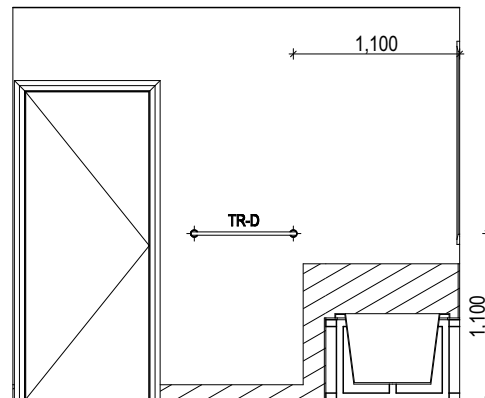
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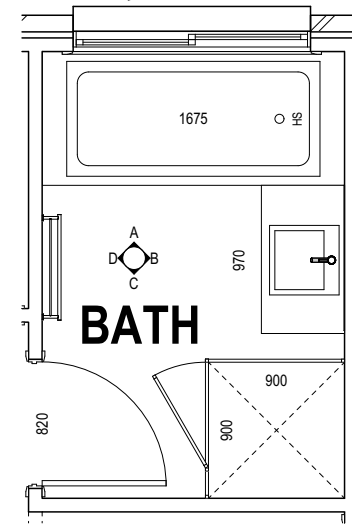
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



BATHROOM PLAN
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

SHAMPOO RECESS SIZE	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm
"MEDIUM"	800 x 380mm	878mm
"LARGE"	1500 x 380mm	1578mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

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5 PRELIM PLAN - PLANNING RFI (26/04/24)	HMI 2024.10.16
6 PRELIM PLANS UPDATE- RFI UPDATE	RT2 2024.10.18

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LOT / SECTION / CT:	71 / - / 160925
COUNCIL:	BURNIE COUNCIL

HOUSE DESIGN:	BELVEDERE
FACADE DESIGN:	HAVEN
SHEET TITLE:	BATHROOM DETAILS
SHEET No.:	17 / 19

HOUSE CODE:	H-WATBVR10SB
FACADE CODE:	F-WATBVR10HAVNC
SCALES:	1:50

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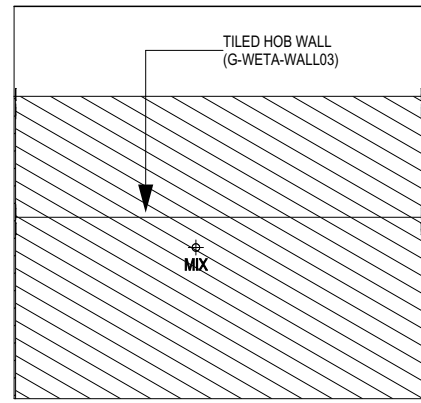
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BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

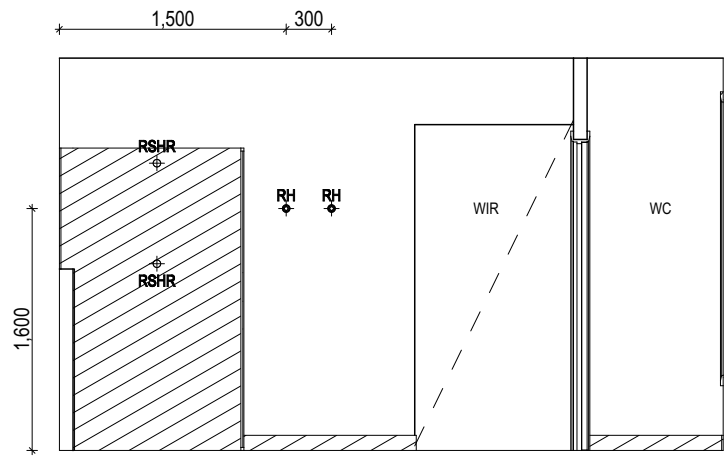
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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

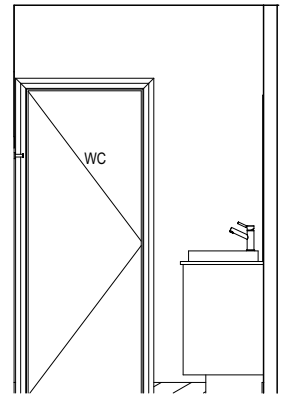
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA



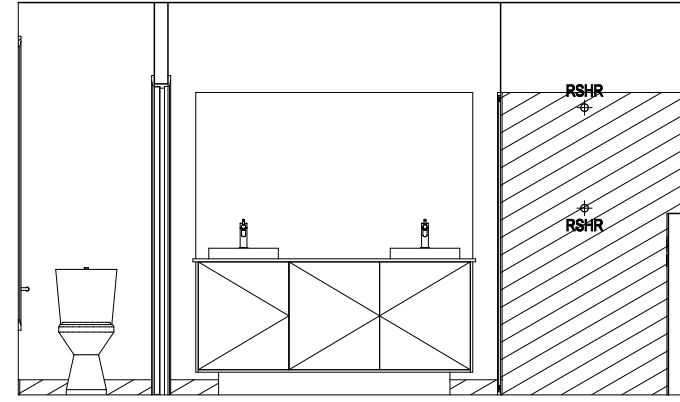
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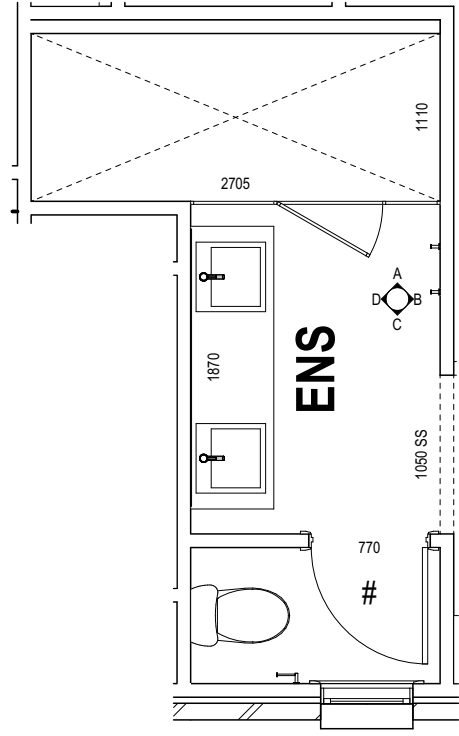
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



ENSUITE PLAN
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
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SHEET TITLE:	ENSUITE DETAILS
SHEET No.:	18 / 19

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FACADE CODE:	F-WATBVR10HAVNC
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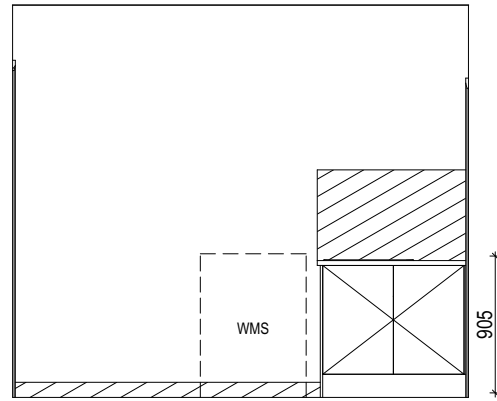
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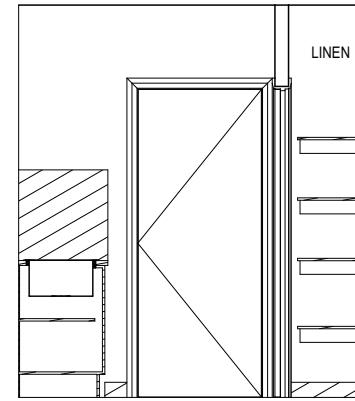
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SEE SHEET 1 (COVER SHEET) FOR DETAILS

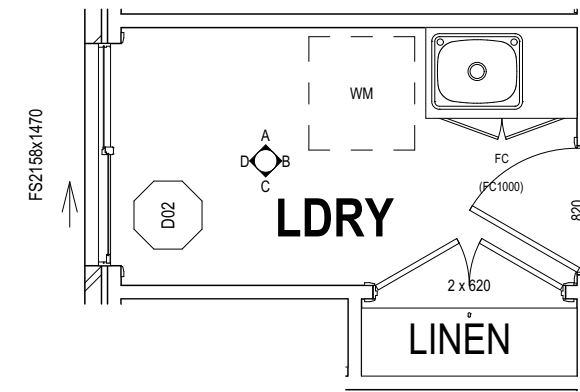
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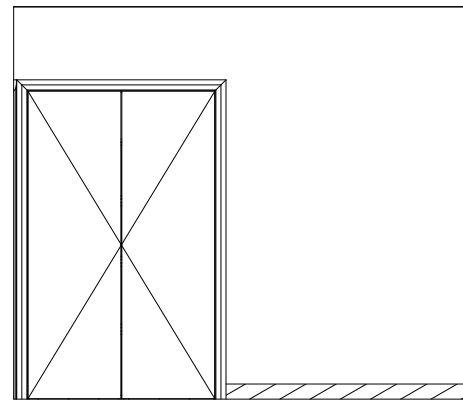
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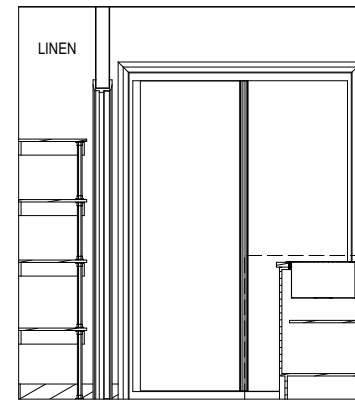
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Scale: 1:50



LAUNDRY PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

PRELIMINARY

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